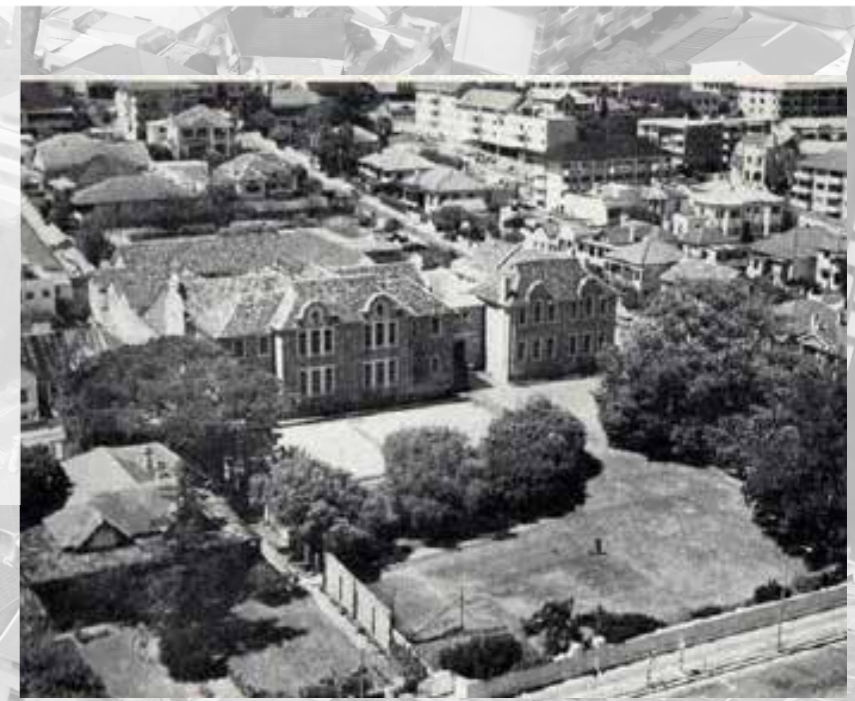
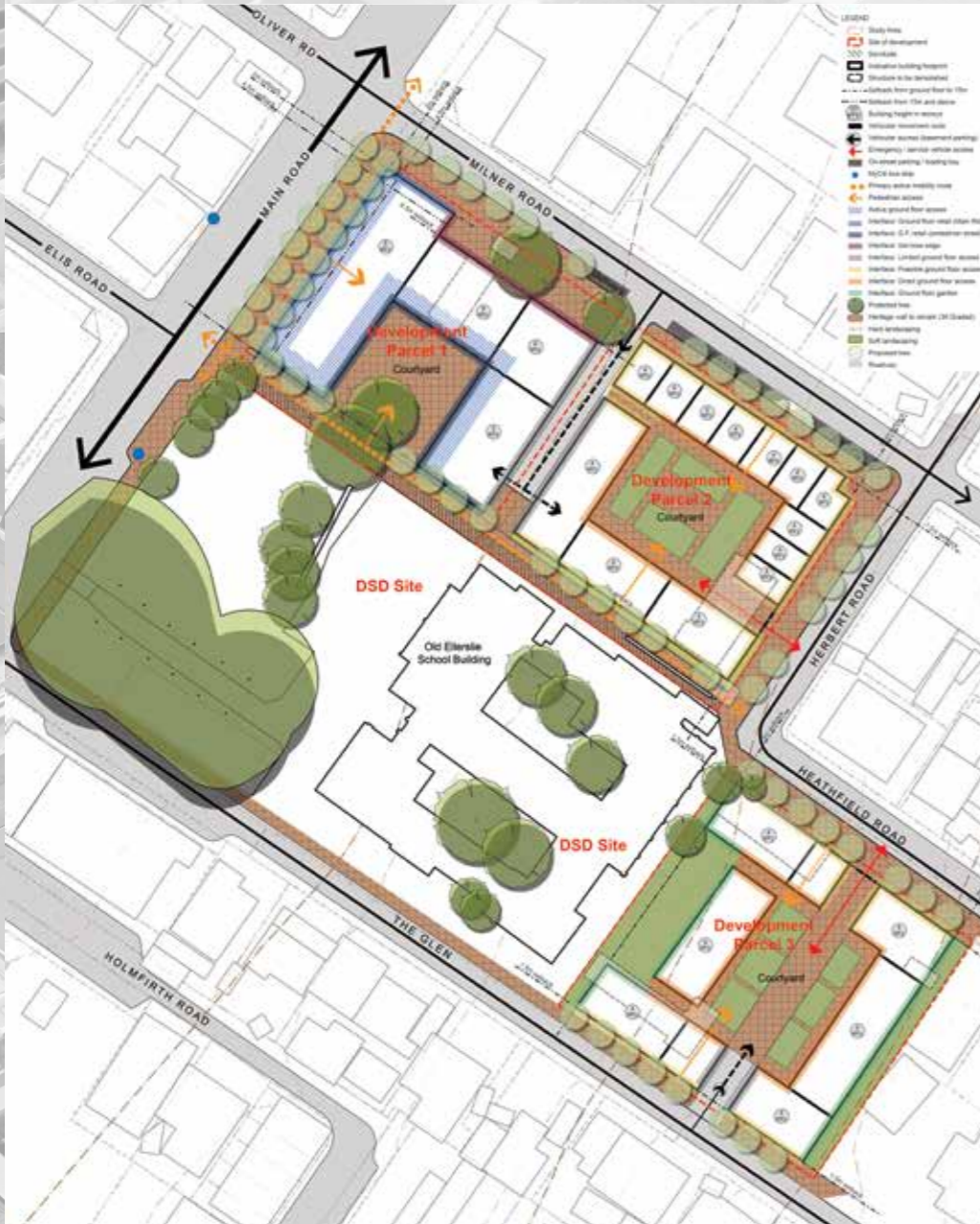


REDEVELOPMENT OF 353 MAIN ROAD, SEA POINT UPDATED HERITAGE IMPACT ASSESSMENT HWC REF: 24020910

submitted in terms of Section 38(4) of the NHRA (1999) for proposed redevelopment of 353 on Main, Remainder of Consolidated Erf 1424, Sea Point, Cape Town



Final Report

10 June 2026 (Updated 11 June)

Prepared by Rennie Scurr Adendorff on behalf of Zutari for the Western Cape Government



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ARCHITECTURE . INTERIOR DESIGN . HERITAGE . ARCHAEOLOGY

EXECUTIVE SUMMARY

Site Name

353 on Main (Tafelberg); Remainder of Consolidated Erf 1424

Location

353 Main Road, Sea Point

Locality Plan



Development Description

The application pertains to the proposed subdivision and rezoning of the affected property for redevelopment. The proposed redevelopment will comprise a residential-led mixed use development with a social housing component, across three subdivided parcels. The entire 8 (eight) storey building on parcel 1 is to be Open Market Residential with retail on ground floor. The remainder of the development, parcels 2 and 3, are 4 storey walk-up social housing arranged around multifunctional courtyards.

Heritage Resources Identified

The site could contain archaeological heritage resources pertaining to the

history of the site as one of the early Sea Point homesteads, or its more recent history as a school.

Social historical heritage is linked to the history of Wynyard Mansions as a site for social housing, and recent ties to housing activism and campaigns for spatial justice associated with the site generally. Significantly, the site is central to the creation of Reclaim The City and that group's activism. Further to this, the social history of the site as a local school that was embedded in the community ties into the changing character of Sea Point as it has become increasingly unaffordable for families. Finally, gender issues are linked both to the history of the girls' school and to the issues pertaining to women-led households living at Wynyard Mansions, and women's prominent roles in housing activism linked to the site.

The old school building on site is a highly significant resource with high architectural, aesthetic, associational and age value. The site is located within the Sea Point Heritage Protection Overlay Zone (HPOZ), and is surrounded by substantial fine-grained residential fabric typical of Sea Point. The property contains mature trees, an avenue of wild figs, and historic boundary walls.

Site Integration

A key and persistent concern through the process has been the nature of the impact of sub-dividing the site, and the non-programming of the DSD portion of the site, essentially the historic school building complex itself. This aspect is one of the two key aspects noted in the HWC Further Requirements addressed in this updated HIA. The integration is highlighted here and also in Section 8.4 and Section 13.1 of this Updated HIA.

Although the school building portion will be developed separately and later, the site has been considered holistically and planned accordingly. The guidelines, informants and criteria illustrate the constraints that will apply moving forward and which will need to be embedded in any future planning for this portion of the site.

KEY INFORMING DIAGRAMS :

There are 4 key diagrams in the HIA which confirm this aspect and which are included in the summary:

Heritage Design Informants (RSA)

Development Fixes (Zutari)

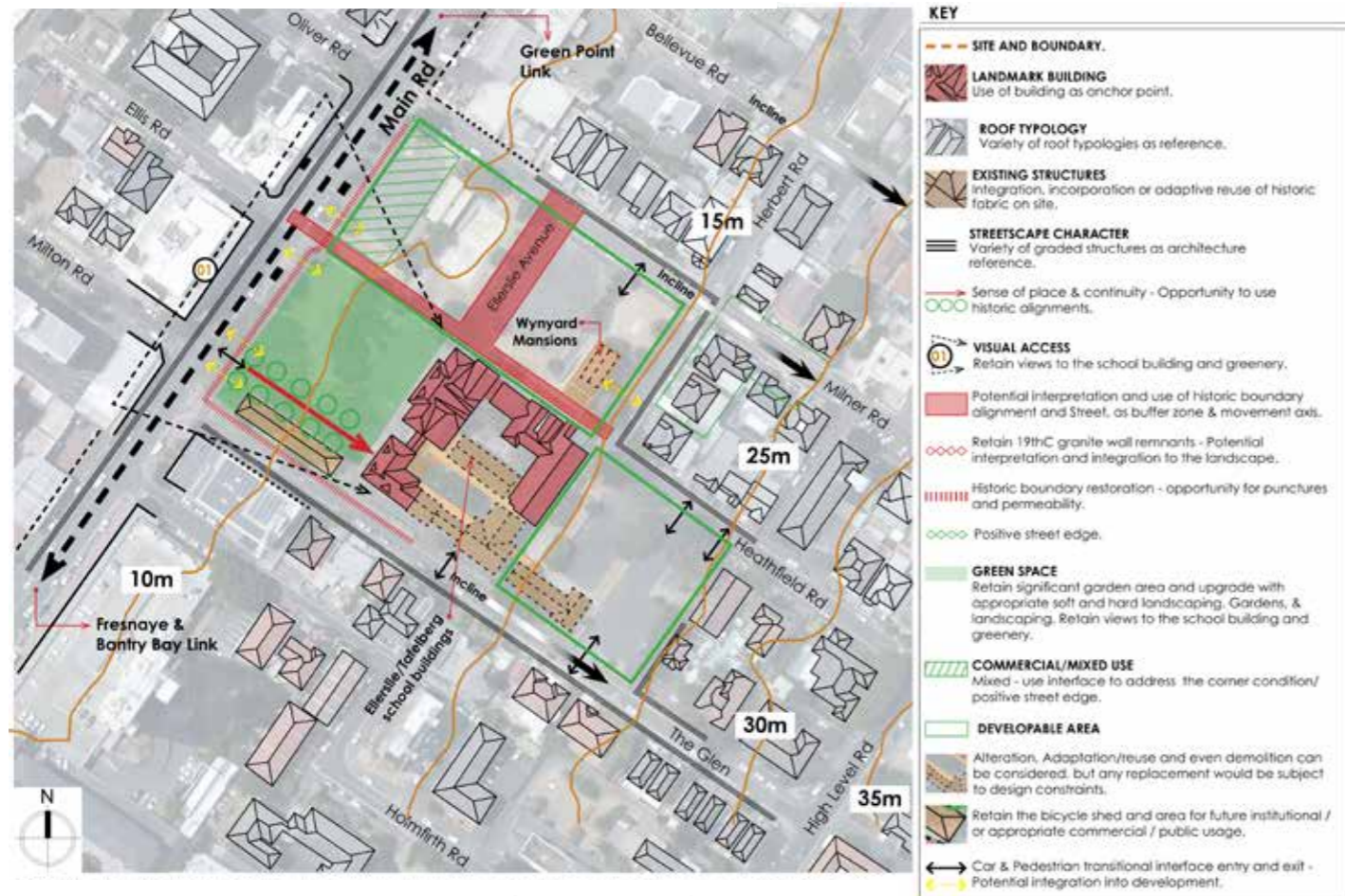
Landscape Framework Plan (Square One)

Development Concept Plan (Zutari)

KEY INFORMING DIAGRAMS



Development Concept (Zutari, 2026)



Heritage Design Informants (RSA, 2026)

STREETSCAPE

Main Road Terrace:

MR1 Add tree line parallel to existing street trees to humanise the streetscape and provide summer shade/winter sun.

Residential Buffers (Milner, Herbert and Heathfield Roads):

R1 Street trees as buffer; shade in summer, sun in winter.

R2 Bioswale planters with weirs along slopes for edge buffering and passive irrigation.

LANEWAY

L1 Trees to provide human scale streetscape.

L2 Private edges - use wider planting for screening.

L3 Commercial edges - widen laneway to create spill-out spaces for dining and entertainment.

L4 Bioswale planters with weirs to manage level changes.

L5 Connection between commercial and social housing blocks with planted laneway for safety and activation.

OPEN MARKET HOUSING PRECINCT: BLOCK 1 COURTYARD

S1 Incorporate heritage trees as a central landscape feature.

S2 Pergola/arbour structures for human-scaled outdoor rooms beneath apartments while ensure adequate solar access.

S3 Green roof condition with permeable surfaces to mitigate runoff.

SOCIAL HOUSING PRECINCT: BLOCKS 2 AND 3 COURTYARDS

C1 Green roof above basement parking.

C2 Courtyard landscape with perimeter paths for apartment access. Central gathering spaces and children's play areas. Quiet buffer zones integrated into courtyard edges.

C3 Emergency access routes designed as shared amenity areas (e.g. informal sports) while maintaining functionality.

C4 Green roofs as amenity and to mitigate runoff.

DSD SITE PRECINCT

D1 Private garden with protected heritage trees.

D2 Movement access route with permeable paver or reinforced gravel space.

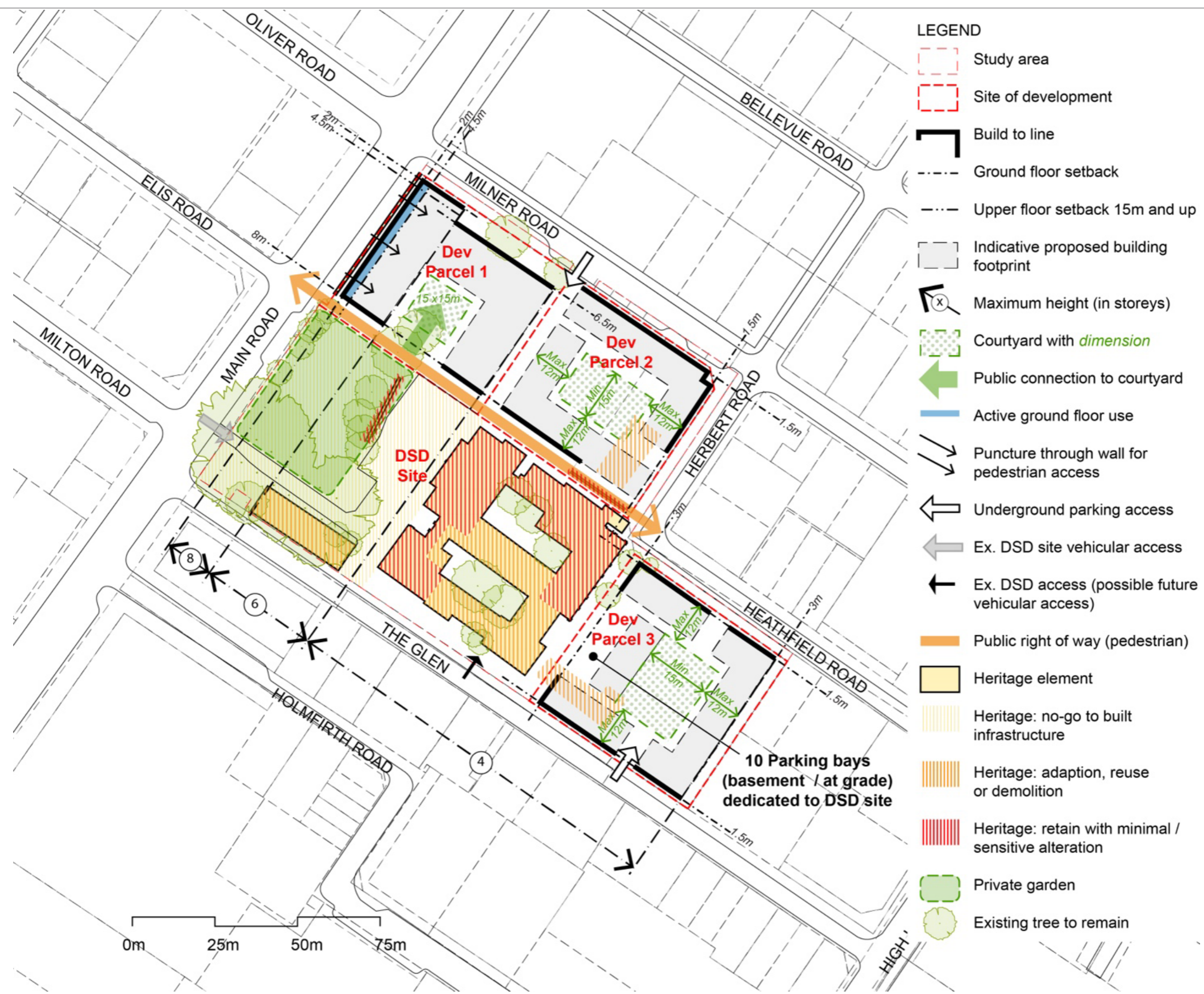
D3 (Red rectangle) possible car parking forecourt with permeable paver or reinforced gravel space.

D4 Courtyard with permeable paver or reinforced gravel space to match D2 & D3.

D5 Low planting along edge to create barrier to DSD buildings.



Landscape Framework Plan (Square One, 2026c)



These diagrams are aligned and confirm:

- retention of the green space and trees in front of the school;
- retention of historic boundary walls on Main Road and The Glen;
- recognition of the old Ellerslie Road alignment;
- pedestrian way through the site between the proposed subdivided sites, connecting Ellis and Heathfield Roads, with landscaped and built-form interfaces;
- layering of the site development in terms of height to recognise the historic building location and alignment.

Although the site will be developed/rehabilitated in two separate stages, the embedded guidelines and criteria will facilitate an integrated development.

The second aspect to the Further Requirements, namely the Heritage Agreement, is a separate process between Heritage Western Cape (HWC) and the Western Cape Government (WCG) and which is to ensure the ongoing maintenance of this portion of the site, buildings and garden in the interim period. An outline of considerations is included in Section 13.2. In response to this Further Requirements, the Custodian, Department of Infrastructure (DOI) has drafted a commitment letter addressing their commitment to the safeguarding of the future DSD portion and Ellerslie/Tafelberg building (Annexure E).

Anticipated Impacts on Heritage Resources

While below ground interventions could yield archaeological finds anywhere across the property, as already identified, it is the immediate vicinity of the old homestead that is of highest archaeological sensitivity. As the homestead site falls within the DSD portion of site, and is excluded from development, in terms of this proposal, archaeological impacts are limited. The old Ellerslie Road alignment does fall within the DOI developable area, however, and should remnant fabric from the historic alignment of Ellerslie Road remain on site, this would be destroyed by development in this area.

The redevelopment of the site poses the risk of severing the tangible and associational links it retains to its social history, while the provision of social housing could have positive impacts in terms of spatial justice and affordable housing. Failure, however, to provide adequate measures for the development to achieve integration and community connection, will have negative impacts on all residents and the local Sea Point community.

The demolition of Wynyard Mansions will represent the loss of a tangible link

to the long history of social housing on the site, but this is mitigated through the social housing aspects of the development. The demolition of the Music Rooms, forming part of proposed development portion 3, will have no will have no heritage impacts.

The proposed sub-division does not in itself cause any townscape or architectural impact.

No direct impacts will occur to any significant architectural resources on site. The most important built-form resources occur on the portion of the subdivided site outside of the development area. Controls and guidelines have been included in this process to ensure appropriate setbacks and buffer areas for the future use of the DSD portion.

The demolition of Wynyard Mansions will mean the loss of a representative building of Sea Point's mid-century growth. The proposed eight storey block is scaled to respond more appropriately to the surrounding development scale along Main Road and that of the PHS (DSD portion), and to facilitate the cross-subsidization of the social housing programme social housing programme.

The Visual Impacts of the scale and massing, at a broader townscape level are deemed acceptable, and the eight storey height is appropriate in the context of Main Road. High impact visual intrusions will, however be experienced at the local, street-level scale.

Conclusion

The proposed development will see the transformation of the site, with impacts to heritage resources on site, some of which are very highly graded. Balancing this is the achievement of the provision of the required social housing component on this site.

Given the absence of any significant archaeological material revealed during geo-testing, and the exclusion of the area of the homestead site from this proposal, it is concluded that archaeological impacts are not likely to arise because of this proposed development. The old Ellerslie Road alignment holds the potential to contain historic road fabric; if this surface is found to have been cobbled, the cobbles would be worth retaining and reusing.

While the proposed subdivision poses no risk of archaeological impacts, any future redevelopment of the DSD portion will need to undergo a separate process in terms of the NHRA to consider likely archaeological triggers. In terms

of social history, the redevelopment of the identified development portions of the site to accommodate social housing goes a long way to ensuring that the historic and recent links to housing activism is not lost. Measures need to be incorporated into the design, however, to ensure that the social housing component does not become siloed but is rather able to integrate into the redevelopment and the Sea Point community more widely. Appropriate facilities to support families - particularly women-headed households - and ensure integration are essential in this regard.

Appropriate memorialisation of the aspects of social history identified as important - including housing activism, educational histories and gender - should also be incorporated, and this can be realised through public art, signage, displays and similar. Possible public access to the school forecourt would be a positive outcome that recognises the social significance of the green space, and would need to be carefully weighed against the requirements of the future use of the site.

The concept design has been revisited to provide a lower, 8-storey block on Main Road. While an even lower building on Main Road (as in Concept 1 and Concept 2) would have less visual impact in the context, this 8-storey height is appropriate to the emerging context and in line with City policy. Most importantly however, the implementation of the social housing programme requires the larger market-related component to render the project feasible, and given that this is an imperative to achieve, this height is acceptable.

The overall finding of the VIA is that the proposed development's scale and massing, particularly with the reduction in height on Parcel 1, are largely consistent with the established character of the Sea Point urban fabric when assessed at a broader townscape level.

Analysis confirms that the 8 storey height on Parcel 1 is an appropriate response to the dense, "urban wall" typology of Main Road and remains subordinate to the taller high-rise buildings along the beachfront. Unlike the previous Concept 3(D) iteration, the revised proposal matches or sits comfortably below the visual datum of the surrounding mid-rise buildings and remains subservient to several of the taller high-rise buildings found within the area.

The stepping down of the scale to four storeys on Parcels 2 and 3 is a critical and appropriate design decision, responding to the finer-grain, lower-rise residential context towards Signal Hill.

When viewed from a distance, such as the Sea Point Promenade (Viewpoint 6) and Ocean View Drive (Viewpoint 5), the proposal is largely screened by existing urban fabric and vegetation, resulting in Negligible to Low visibility. It integrates seamlessly into the existing urban skyline without impacting primary sea views or the horizon line, aligning strongly with the principles set out within the CoCT's Tall Building Policy and the Table Bay DSDF. While the proposed development remains partially visible in Viewpoint 5, the overall visibility is substantially reduced ensuring that the proposed development does not fundamentally conflict with the overall character of the area.

Despite this acceptable townscape fit, high-impact visual intrusions remain a concern and will still require appropriate mitigation. While these high impact visual intrusions were previously a concern at the local, street-level scale, the revised Concept 4 proposal has taken steps to reduce impacts and mitigates these issues to varying degrees from certain vantage points.

Primary examples of this can be seen in Viewpoint 1, which remains unchanged with High visual intrusion and Viewpoint 7 where despite the reduced height of the proposal, VAC remains Low and Visual Exposure remains High. This results in a marginal, yet significant decrease in visual intrusion, reduced from High to Moderate to High as the Concept 4 proposal feels less visually overpowering, representing a distinct improvement in how the built form interfaces with the public domain when compared to the original 11 storey proposal.

The Impact Assessment (Section 6.3) continues to rate the Construction Phase as having a High (negative) impact prior to mitigation. However, the Impact Assessment now rates the Operational Phase impacts as Medium (negative) prior to mitigation, improving to Low (negative) with mitigation.

Localised High operational impacts are still identified in the Visual Analysis (Refer to VIA Section 5).

The VIA notes that this assessment is being conducted on a strategic-level study of a conceptual massing envelope intended only to inform the site enablement process, the most critical recommendation is that a new, comprehensive VIA must be commissioned and submitted as part of any formal, detailed development approval process. That future assessment will need to re-evaluate the specific architectural design, including façade articulation, modulation, materiality, lighting and landscaping to ensure the above mitigation measures proposed in this conceptual phase are successfully translated into a final built form that is sensitive to this significant

heritage and visual context.

Option 4 remains the preferred concept design option.

The reduction in height does lead to a lower number of residential units being realised - both open market and social housing units.

The draft HIA (Option 3D) proposal including the 11-storey component realised 481 units comprising:

- 229 open market units
- 252 social housing units.

The proposed development floor areas and unit yields for the revised Option 4 (ie the 8 storey, revised proposal) realises a total of ±440 residential units within the residential land use yield basket modelled. It is proposed that the social housing units be maximised in future detailed development proposals, with a minimum of 200 units. The unit split is subject to grant availability and market conditions at implementation. A 50% split between open market units and social housing units is aimed for.

The reduced height / Option 4 remains the supported option due to the lesser heritage and visual impacts on the site and surrounds.

Recommendations

General Recommendations

This HIA recommends that Heritage Western Cape:

- Endorse this report as meeting the requirements of S.38(3) of the NHRA
- Approve the subdivision in terms of S.27
- Approve the demolition of Wynyard Mansions as per the Site Development Plan (Zutari, 2026c)
- Approve massing, height and layout as per the Updated Concept Report (Zutari, 2026c)
- Endorse the Design Guidelines (Zutari, 2026d)
- Require the DSD portion/ school to adhere to overall guidelines and indicators and programme the building accordingly and submit a separate S.27 application.
- Furthermore, it is recommended that the DSD seek to programme that part of the site to be a positive and integrated component of the whole and, importantly, to engage proactively with Conservation Bodies and I&APs around this matter.

- Conditions of approval – the ROD is to include that further developed drawings are to be submitted to HWC as a Condition of the approval to confirm adherence to the social housing programme and general design indicators and guidelines.
- Require detail design development in accordance with the architectural, heritage and urban design recommendations accompanied by an overall visual impact assessment of the developed design.
- A Heritage Agreement is to be entered into between HWC and WCG in order to ensure the ongoing maintenance of the school building and property until the development of that portion of site is effected.
- The heritage criteria, guidelines and development controls pertaining to the site layout and informants are to be adhered to in the future repurposing of the historic school building portion of the site

Archaeological Recommendations

It is recommended that:

- The AIA be endorsed;
- Initial inspection of foundation trenches be undertaken when these are opened during construction phase.
- Initial monitoring of works in the area of the old Eilerslie Road alignment should be conducted, and if cobbles are located there, these should be retained and reused elsewhere on site.
- Any future redevelopment of the DSD portion will need to follow relevant archaeological processes.
- If any human remains or significant archaeological materials are encountered during construction work all work in that area should be halted, and the area cordoned off until HWC has been notified, and an appropriate course of action can be determined. This may include mitigation through excavation.

No PIA is recommended, but a fossil finds protocol should be provided.

Socio-Historical Recommendations

The following considerations are recommended in terms of recognizing, building on and preserving the intangible and associational heritage of 353 Main Road:

1. Presently, the plan under consideration is for mixed-use development on the eastern portion of the site, incorporating social housing and market-related housing, as well as retail. This plan is still under development and current HIA processes relate only to site enablement. While development at this scale would impact on the character of the school grounds, there is great potential for such development to support

the associational, intangible heritage qualities of the site.

2. Besides the highly visible link to contemporary spatial justice struggles, there is clear precedent for affordable housing on the site. Although Wynyard Mansions is small, its story acts as a microcosm for many of the struggles still faced by working people in Sea Point. It provided a crucial foothold for vulnerable individuals and families in the city, and enabled crucial access to jobs and urban facilities. The proposal to develop affordable and social housing is strongly supported from an intangible heritage perspective in this regard. If it is feasible from a development and usage perspective to retain part of the physical fabric of Wynyard Mansions as the physical manifestation of this history, this would be appropriate and supported. Design for future development should be mindful that Wynyard Mansions holds a deep connection to housing struggles in Sea Point and its links to everyday stories of urban survival in Cape Town. However, this should not form a blockage to the realization and reflection of the site's associations with affordable housing and spatial justice. If the design and feasibility scoping processes do not support the retention of the block or parts thereof, consideration should be given to reflecting its memory through other creative means: this could include use of the footprint, design aesthetics, naming, or some form of publicly visible interpretation, exhibition or historical storytelling.
3. The sense of the property as a community anchor, supporting individuals' and families' interconnection between neighbourhood, home, and community, is one of the most central associations with the site. Any development should be oriented towards acting as an integrated and inclusive community anchor. Affordable housing is a key lever for this kind of community integration, enabling people to live where they work and where their children go to school – echoing the experiences of the Ellerslie alumnae who had the privilege of going home for a quick lunch, participating in school extra-murals, and having parental support for school activities and fundraisers. The proposal to develop social and affordable housing on the site is therefore entirely in keeping with the community-oriented social history of the site. In practice, this means development should be focused not only on housing alone but also on the creation of community facilities and points of connection, with the potential to counter some of the fragmentation experienced by residents in recent years. There are many possibilities for achieving this: for example, active and well-programmed community centres, citizens' advice bureaus, a focus on businesses in the retail portion which support day-to-day needs, safe spaces for children, and well-designed spaces for community gatherings.
4. The educational history of the site is highly significant, but this does not

necessarily mean that the site requires literal reinterpretation as a school. This aspect of its heritage can be broadly interpreted to include facilities and housing design that are genuinely supportive of family life and healthy psycho-social development. This could include elements such as a creche, safe play spaces for children, and social amenities suitable for families. This is especially important in a context where most new developments do not cater for families with children. The development of affordable housing on the site also opens the possibility for children currently attending schools in Sea Point to live close to school, shifting the current dynamic where children leave home early in the morning to travel into the city on public transport. This would represent a revival to historical dynamics of interlinkage between schools and the residential community of Sea Point. While this HIA process does not include the school building itself, it is worth noting here that the older portions of the building, including the interiors, are highly significant from a socio-historical perspective. A more detailed heritage study on the school building itself will be necessary when decisions are finalized about its future use.

5. The site's multiple connections to gendered histories could also find expression in its future development. These links are visible in the site's connections to women's education, the high concentration of women who found homes at Wynyard Mansions, and the women who have led housing struggles in Sea Point for decades. It would be appropriate to honour this history through a gender-sensitive approach to design in future development, including considerations given to public space design; safety and visibility considerations in the design of entrances and walkways; and – as noted above – design which supports safety and thriving for children and families.
6. As a rich, multilayered site that speaks to so many aspects of Sea Point's history, it would be appropriate to include an interpretive element in the site's development which tells some of these stories. Besides the historical narrative of the schools, it is also important to have a public reflection of histories which are in danger of being forgotten, including those of Rainbow Housing and of Wynyard Mansions. These stories are also intrinsically connected to contemporary housing activism in Sea Point and the impact this activism has had on Cape Town at large. Possibilities for such interpretation could include a small public exhibition, well-designed mural art, and/or naming practices for future buildings on site.

The following considerations pertain to the Ellerslie Building forecourt specifically:

- Public Land: The forecourt is not intended for private development or

ownership, regardless of the level of public access made possible or not by DSD's future plans for the site. The retention of public ownership is in keeping with the social history findings around the site as a community resource. It would be advisable to make this provision explicit for future management planning.

- **Contingent Access:** Usage of the former school building has determined the level of public access to the garden, and it is likely that this linked determination will continue in future.
- **Heritage Values and Sense of Place:** The school forecourt acted as a social and recreational space for the school, and a green space more widely, fostering a sense of place and a green 'pause' in the urban landscape, even if only visually. The continuation of these historic meanings and values, and their extension to the surrounding community, should be supported as far as is practically possible.
- **Continuum of Possibilities:** Meaningful efforts should be made to ensure some form of public access to the garden in line with the site's historical social meanings and significance. This should comprise visual accessibility from the housing and mixed use development portion at a minimum, but could extend to managed access, in line with DSD's practical needs for the former school building.

It would be advisable for the spatial framework to propose a continuum of possibilities for the forecourt, to account for different levels of access and permeability in line with DSD's potential uses of the school building. These would provide a guideline for establishing appropriate levels of public access once the future of the school building is clearer. The guiding principle should be to allow for as much public access as possible, within the constraints of DSD's requirements.

Architectural and Townscape Recommendations

The detailed planning and design stage must consider and implement the following:

- The historic, C19th solid stone wall and central pier and fence walling section on main Road are to be documented in detail. Design options to be explored to retain (at minimum) representative sections of each wall in an integrated and interpretive manner with the line and form of the overall wall reflected in paving lines if any sections are removed to facilitate positive street interface, so that the original fine-grained layout is remembered on site. This should be part of the street and landscaping interface condition.
- The detail, grain, materiality, punctured nature of opening and form of the buildings are modulated to respond to the varying conditions around the

site. The Architecture should be fine-grained and contextually responsive and not be self-referential.

- The internal interface conditions as defined in the Design Guidelines Report (Zutari, 2026d) must be detailed to respond to the school/ DSD building and green open area.
- The building design must engage positively with the adjacent school buildings and not present blank or service facades towards the historic school buildings.
- The detail design should seek to enhance visual and physical cohesiveness and connectivity with the school building.
- Internal security provisions/ fencing to be detailed in a subtle manner with the over-riding concern being to visually retain the cohesiveness and integrated nature of the PHS site.
- The future development considerations of the DSD portion of the site should recognise and incorporate the heritage design indicators and framework set out in this report.
- The Concept Design Report and Design Guidelines Report (Zutari 2026c and 2026d) must remain the design determinants for the future design development.
- DocomomoSA should be afforded the earliest opportunity to access Wynyard Mansions to record and document the building for public record.
- The detail design stage should consider whether any portion of Wynyard Mansions, for example the street bridge as entrance, could potentially be incorporated into the design. This would need to be contributory to memory and interpretation and/or place-making and not simply a gesture.

Visual Impact Recommendations

General

- **Materiality:** All external material and finish specifications, including the building façade materiality and all ground-level hard landscaping, must be of high quality and non-reflective to reduce glare and visual intrusion.
- **Landscape Architecture:** A comprehensive landscape master plan, prepared by a SACLAP registered professional, is essential and must be implemented and monitored. This plan is the primary mitigation tool and must prioritise visual screening through the planting of medium to large-calibre trees along sensitive boundaries (especially along sensitive heritage interfaces such as The Glen, Herbert Road, Heathfield Road and Milner Road).

All retaining structures must be stepped, articulated, and heavily planted to avoid monolithic 'terraforce' walls while appropriate terracing should be employed to manage considered level changes, create accessible

and usable open spaces and mitigate the need for excessive retaining structures. The building should include integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade. Vertical greening through the installation of stainless-steel cable or mesh trellis systems should be considered. Additionally, the implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines is recommended. Careful consideration should be given to the levels of the courtyards and green roofs to ensure sufficient planting depth is achieved. (ZUTARI; 2026d)

- **Building Articulation and Interface:** Further articulation of the building's mass through façade modulation to achieve a fine grain texture, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings' perceived scale and bulk and to avoid monolithic built form. This is particularly relevant to the Portion 2 and 3 sites where the current proposal introduces a significant contrast to the adjacent low-rise heritage dwellings and noticeably changes the character and sense of place of the street.

As such, the massing of buildings needs to consider views, sunlight, the relationship with streets and spaces, landmarking and be respectful of the contextual building grain and mass. The way the development interfaces with the streets, public spaces and neighbouring properties, is crucial to ensure a strong contextual fit and maintaining the integrity of the area. Interface considerations should therefore conform to the site enablement Design Guidelines Report. (ZUTARI; 2026d)

- **Construction:** A pre-construction condition audit must be conducted on all adjacent heritage structures, particularly on the DSD portion of the ERF 1424 site. Standard, but rigorous, site management for dust, noise, and visual screening of site camps is mandatory. An arborist must provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival.
- **Setbacks:** Increasing of the building setback from the site boundary along sensitive residential heritage interfaces such as The Glen, Herbert Road, Heathfield Road and parts of Milner Road as identified within the Heritage Informants to allow for substantial softening and visual screening of the site edge through the planting of medium to large calibre ground level trees and landscaped areas while maintaining the pedestrian sidewalk routes.

Construction Phase

- Store and keep excavation machinery and trucks out of sight of surrounding residential areas as far as possible.

- Ensure that excavation machinery and trucks entering and leaving the site do not leave any rubble, sand, rock, branches or other unwanted material on roads linking to the site.
- Screen the site camp from view using appropriate materials that blend into the surrounding vegetation.
- Ensure that site construction hoarding is dark in colour and free of excessive branding.
- Prohibit excessive signage outside the construction camp.
- Keep site lighting to a minimum and prevent the use of flood type lighting as far as possible.
- Ensure that the site is kept neat and clean. Collect and dispose of litter appropriately to prevent any potential wind-blown litter on or off the site.
- Ensure that site clearing is delayed as long as possible prior to construction in any particular area.
- Limit site clearing to within the minimum footprint required for construction.
- Protect existing vegetation in all areas that do not fall directly into the construction footprint.
- Do not damage or destroy vegetation on adjacent properties.
- Control erosion immediately to prevent visual scarring of the landscape.
- Control dust using the appropriate dust suppression techniques.
- Rehabilitate eroded / denuded areas as soon as possible following construction in any particular area.
- Ensure that vegetation and tree planting is installed as per the landscape master plan and in terms of the landscape guidelines.
- Large retaining structures should be stepped and designed to be integrated with natural vegetation and planting.
- Building forms and volumetric/elevational components articulated to avoid a monolithic form and flat facades.
- Protect the existing trees that are not planned for removal as per the tree survey.
- During the planning phase, the proposal must pay close attention to the interface of the proposed development with Main Road and surrounding streets. This includes evaluating the building's contribution to a safe, attractive, and pedestrian-friendly environment.
- Protection and site demarcation to protect DSD portion of ERF 1424 from related demolition, excavation and construction implications.
- A pre-construction condition audit should be conducted on all structures on the DSD site prior to construction taking place on the DOI sites to ensure that structural mitigation measures can be put in place to limit unplanned negative impacts to structures of heritage significance.

Operational Phase

- Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site.
- Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site.
- High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting
- Make use of contextually appropriate materials.
- Ensure that low level, unobtrusive and contextually appropriate signage is used.
- Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible.
- Ensure that non-reflective, colour appropriate paving surfaces are used as far as possible.
- Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures.
- Night lighting should be minimized and designed appropriately along the following guidelines:
 - Use low level lighting around buildings and along paths and streets.
 - Avoid neon, spot or excessive up-lighting.
 - Screen and filter lights sources as far as possible.
 - Shield external lights on buildings to cast light only upon the area required to be illuminated.
 - Ensure that naked light sources are not visible from beyond the site.
 - Ensure that limited light is emitted into the sky.
- Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas. Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive.
- Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase.
- A Site Development Plan must be prepared for approval by the local authority before construction activities can commence.

- Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC.
- Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities.
- Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated.
- All areas disturbed during construction activities must be rehabilitated using appropriate vegetation.
- Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m.
- Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation.

Authors and Date

Katie Smuts - Archaeologist and Heritage Practitioner

Mike Scurr - Architect and Heritage Practitioner

Lindelo Nzuza - Architect and Heritage Practitioner

Naomi Roux - Social Historian

Luke Coughlan, Square One - Visual Impact Assessor and Landscape Architect

10/06/2026

PROCESS SUMMARY

Earlier Studies

2011

- A Notification of Intent to Develop was submitted to HWC in 2011 for the proposed redevelopment of this site, and was reviewed by the Archaeology, Palaeontology and Meteorites Committee.
- The Response to NID indicated that no archaeological or palaeontological issues were identified, but that if any archaeology was discovered on site, work should cease, and HWC be informed.
- An HIA was duly undertaken to respond to the requirements of the RNID. Ellerslie / Tafelberg High School Heritage Report by Bridget O'Donoghue.
- The Phase 1 HIA, Ellerslie/Tafelberg High School, July 2011 was endorsed by HWC.
- Interested and affected parties (I&APs) were consulted in 2011.
- A process of engagement with I&APs and HWC's BELCom Committee resulting in revisions to indicators and grading.
- The revised HIA, Ellerslie/Tafelberg High School, July 2011 Rev 2 was endorsed in September 2011 by HWC.

2022

- Heritage Report by Dr André Van Graan assessed the Wynyard Mansions apartment building for the Western Cape Department of Transport and Public Works (DTPW).
- Draft Heritage Process

DOI Development Process

2023

- While the HWC endorsement of the 2011 Phase 1 HIA remains valid: "HWC recommends that a new NID application be submitted due to the change in heritage management approaches, sensitivity surrounding the site, as well as the time that has lapsed since the previously submitted NID."
- A Heritage Scoping Baseline Study was conducted by RSA September 2023.

2024

- NID Submitted by RSA in February 2024 on behalf of Zutari, for DOI as applicant for the current proposed development..
- The NID recommended that an HIA be undertaken and identified specialist reports.

2025

- A Draft HIA with specialist reports was compiled by RSA on behalf of Zutari, for DOI as applicant for the current proposed development.
- A process of engagement with I&APs was undertaken by end of 2025.
- Draft HIA was released for public comments on 13 November 2025 with closing date 13 December 2025.
- Legal notices appeared in the Atlantic Sun and Cape Times on 13 November 2025 which advised the general public of the availability of a hard copy of the report at the Sea Point Public Library, and digital copies downloadable from a QR code on the notice and via the Department of Infrastructure webpage.
- Site notices bearing the same information were erected around the proposed development site on 13 November.
- Members of the public were invited to attend an Open House on 18 November 2025 at Life Conference Centre, 30 Main Road, Sea Point.

2026

- A HIA with a supplementary report including comments pertaining to heritage and updates was submitted to HWC.
- HWC Impact Assessment Committee requested further requirements at a meeting dated 11 March 2026.

Process Currently Underway

- Updated Integrated HIA addressing further requirements from HWC IACom.

8 May 2026

- Advertise Updated HIA for 30-day public comment.

8 May - 7 June 2026

- Consider comments and prepare responses.

10 June 2026

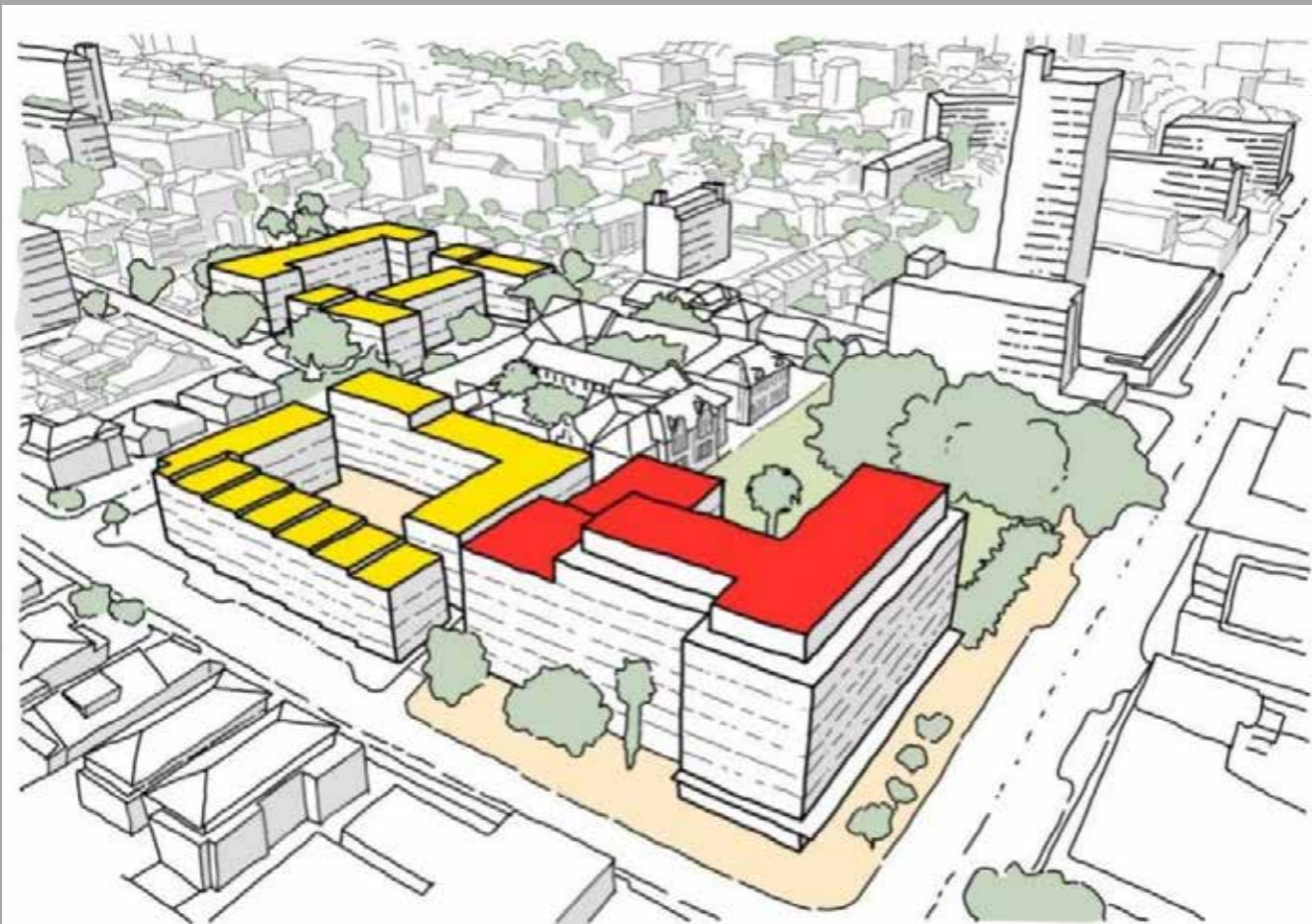
- Submit final Updated HIA with Comments and Responses report to HWC for decision.

17 June 2026

- Target IACom for decision.

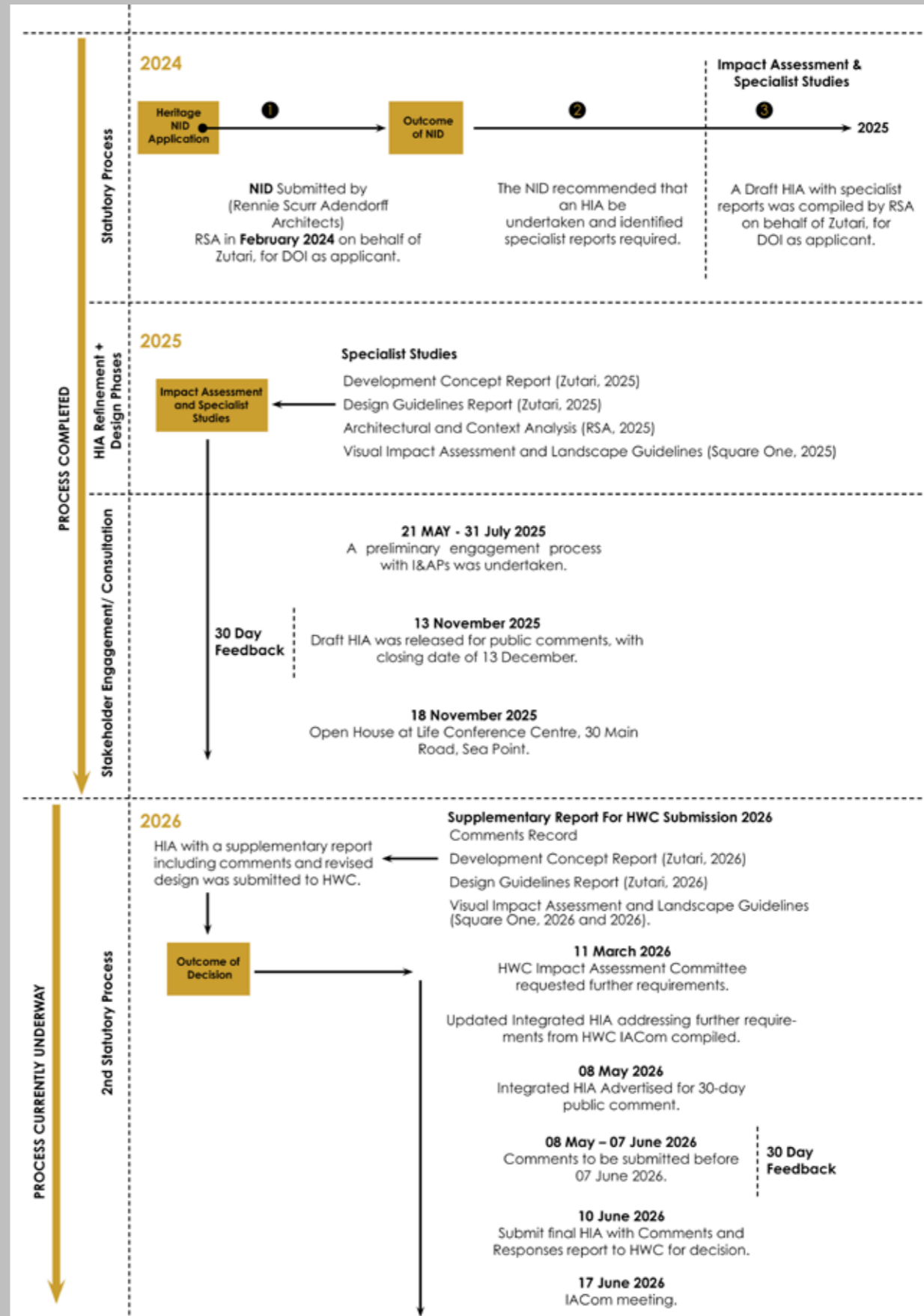
REDEVELOPMENT OF 353 MAIN ROAD, SEA POINT

Submitted in terms of Section 38(4) of the NHRA (1999) for proposed redevelopment of 353 on Main, Remainder of Consolidated Erf 1424, Sea Point, Cape Town



OPEN HOUSE 19.05.2026

HERITAGE PROCESS 2024-2026



GUIDE TO THE REPORTS

SPECIALIST STUDIES



DESIGN GUIDELINES



Full Reports Included

Key Info Included

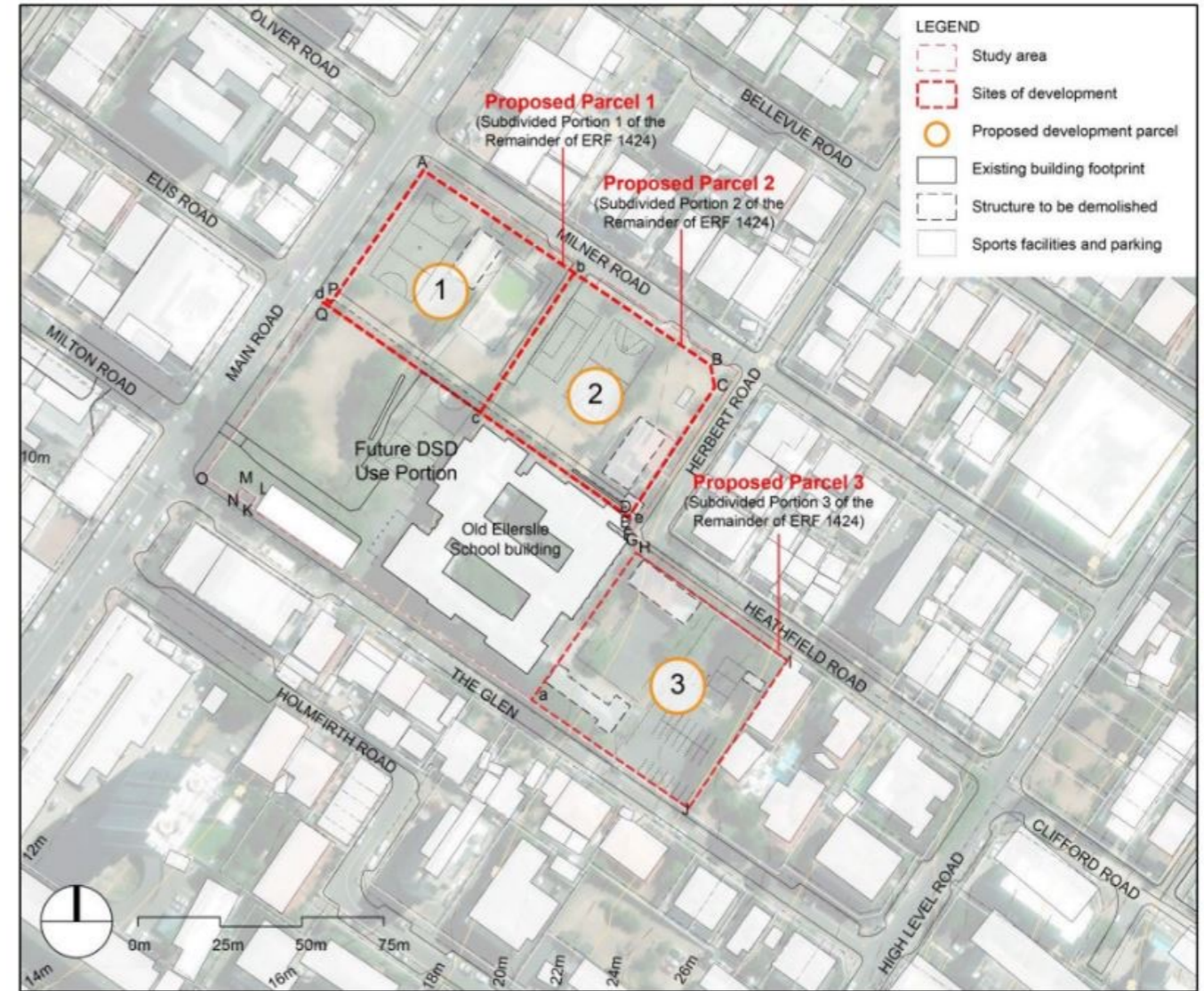
CONCEPT



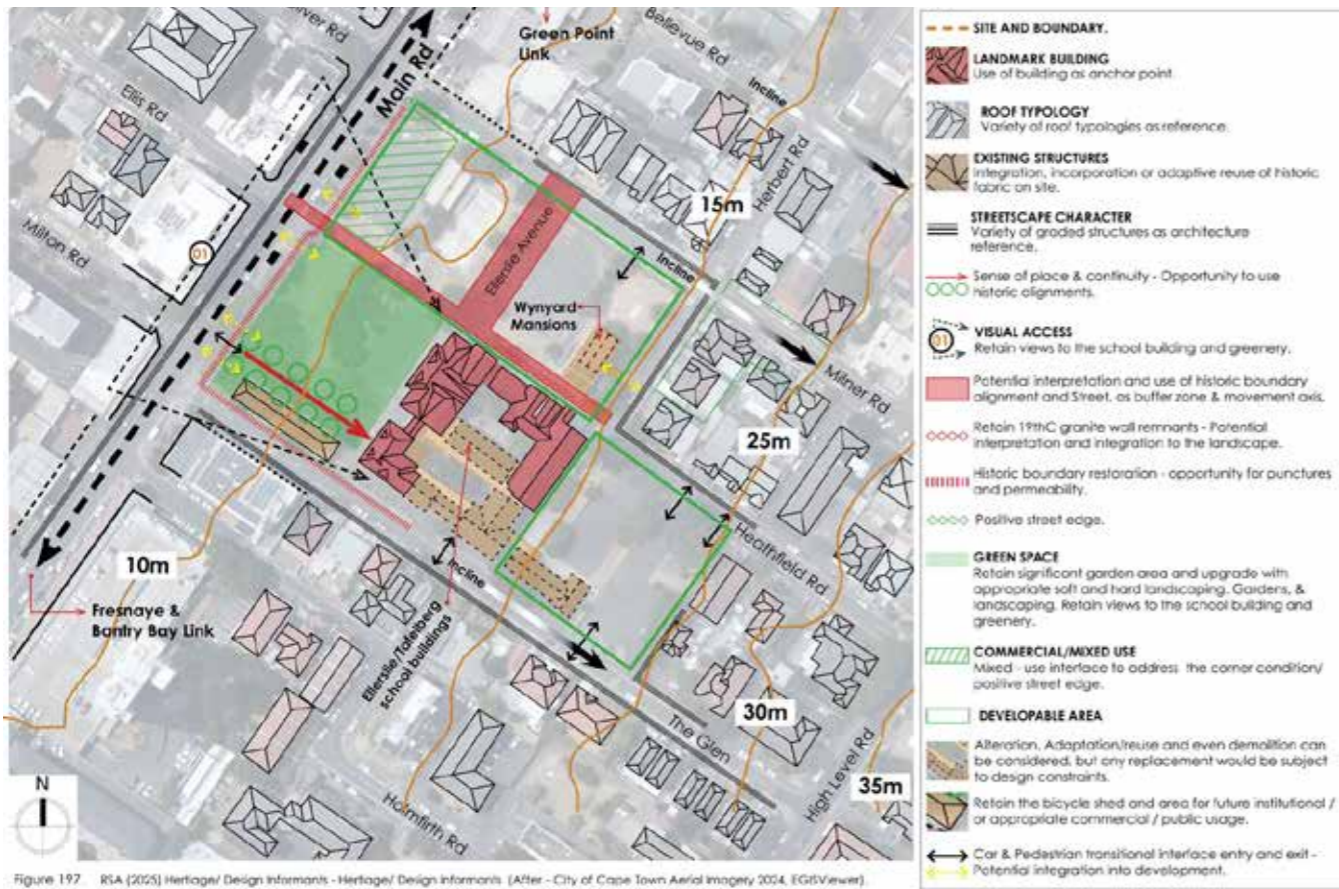
IMPACT ASSESSMENT



SITE CONTEXT



HERITAGE DESIGN INFORMANTS - RSA



- Landmark historic building complex as anchor point
- Variety of roof typologies as informants
- Integration, incorporation and adaptive reuse of historic fabric on site
- Variety of graded structures
- Sense of place & continuity - opportunity to use historic alignments
- Retain views to the school building and greenery
- Potential interpretation and use of historic boundary alignment and street as buffer zone & movement axis
- Retain 19thC granite wall remnants - potential interpretation and integration with the landscape
- Historic boundary restoration - opportunity for punctures and permeability
- Retain significant garden area and upgrade with appropriate soft and hard landscaping.
- Retain views to the school building and greenery
- Mixed-use interface to address the corner condition/ positive street edge
- Integrate historic alignments and entrances
- Retain the bicycle shed and area for future institutional or appropriate public usage
- Car & pedestrian transitional interface entry and exit - integration into development
- Opportunity to strengthen pedestrian link and positive interface with the public realm

SOCIO-HISTORICAL VALUES & INDICATORS – NAOMI ROUX

Precedent for affordable housing: Wynyard Mansions

Wynyard Mansions functioned as affordable and subsidised housing. It provided many families, new arrivals and women-headed households with a foothold in the city. New affordable housing is in keeping with this history.

Community and family

There is an opportunity to develop a new 'centre of gravity' through housing and mixed-use development, that addresses current experiences of community fragmentation through overdevelopment and rising housing costs.

Educational histories: Ellerslie and Tafelberg

Ellerslie School is linked to the growth of women's education in Cape Town, and Tafelberg functioned as an inclusive remedial school. Many alumnae remember the special sense of school life being closely linked to community and family life. Affordable housing could enable more families to live near the schools their children currently attend, opening this experience to a new generation who currently bus into Sea Point from far away.

Women's stories and leadership

Women's stories are very present on the site through its history as a girls' school, the many women-headed households who lived at Wynyard Mansions, and histories of women's leadership in housing activism. Development should reflect this through gender-sensitive design (childcare, family facilities, safety, needs of women-headed households, participatory structures, etc.)

Integrated affordable housing

Values of inclusivity, integration and community-building are central to the site's social history. Development should support these: affordable housing should not exist in a silo but must be connected to facilities and amenities that support a sense of community integration, including spaces for families, leisure and recreation.

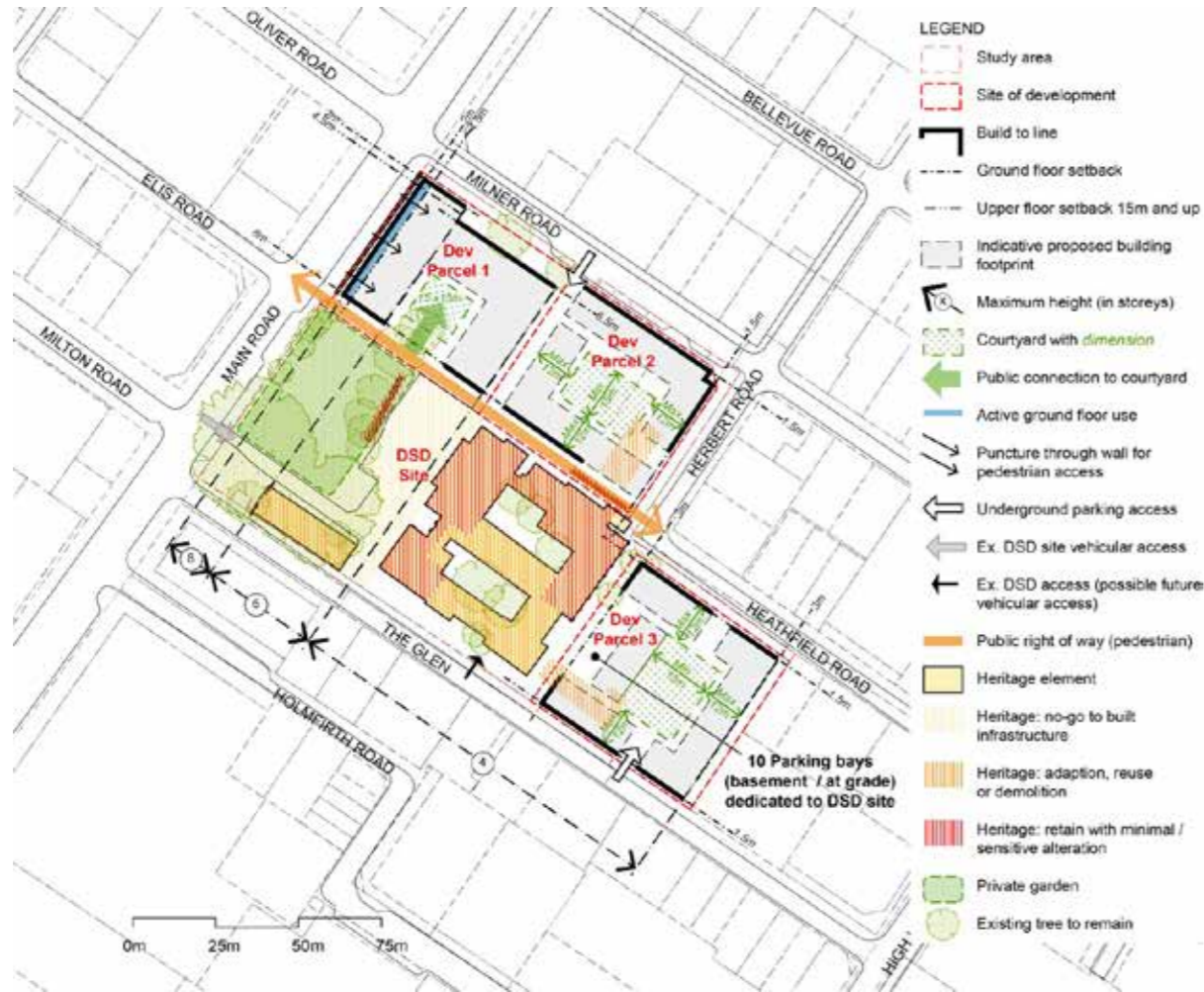
Spatial justice

The site has become a symbol of spatial justice struggles in Cape Town. Well-located, integrated, affordable housing serves the needs of spatial justice in the city. There is also an opportunity to tell the unique stories of housing and justice struggles in Sea Point through exhibitions, artwork, or other methods.

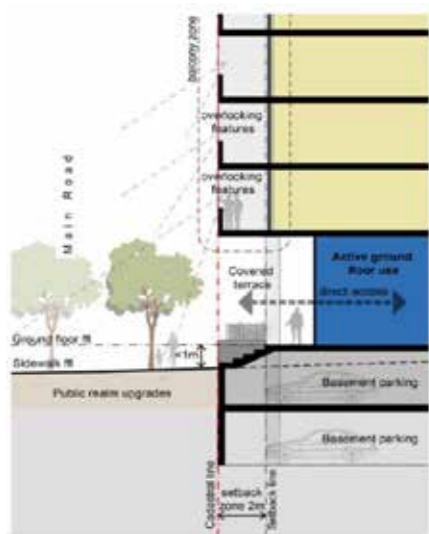
The school building and forecourt

Historically, the school and green space in front have not functioned as public space and its future use depends on DSD's needs. However, the design should allow for as much public access to the garden as is feasible, it should not be visually cut off from the rest of the site and should continue to function as a green 'pause' in the urban landscape.

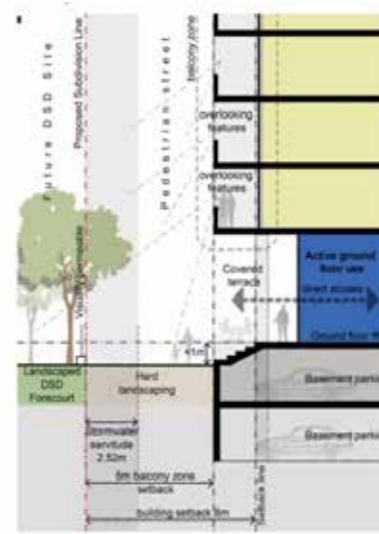
DEVELOPMENT GUIDELINES - ZUTARI



Development Fixes for Study Area



Typical Interface Condition Main Road



Pedestrian Street Setback Interface



Concept Design 4: Massing model



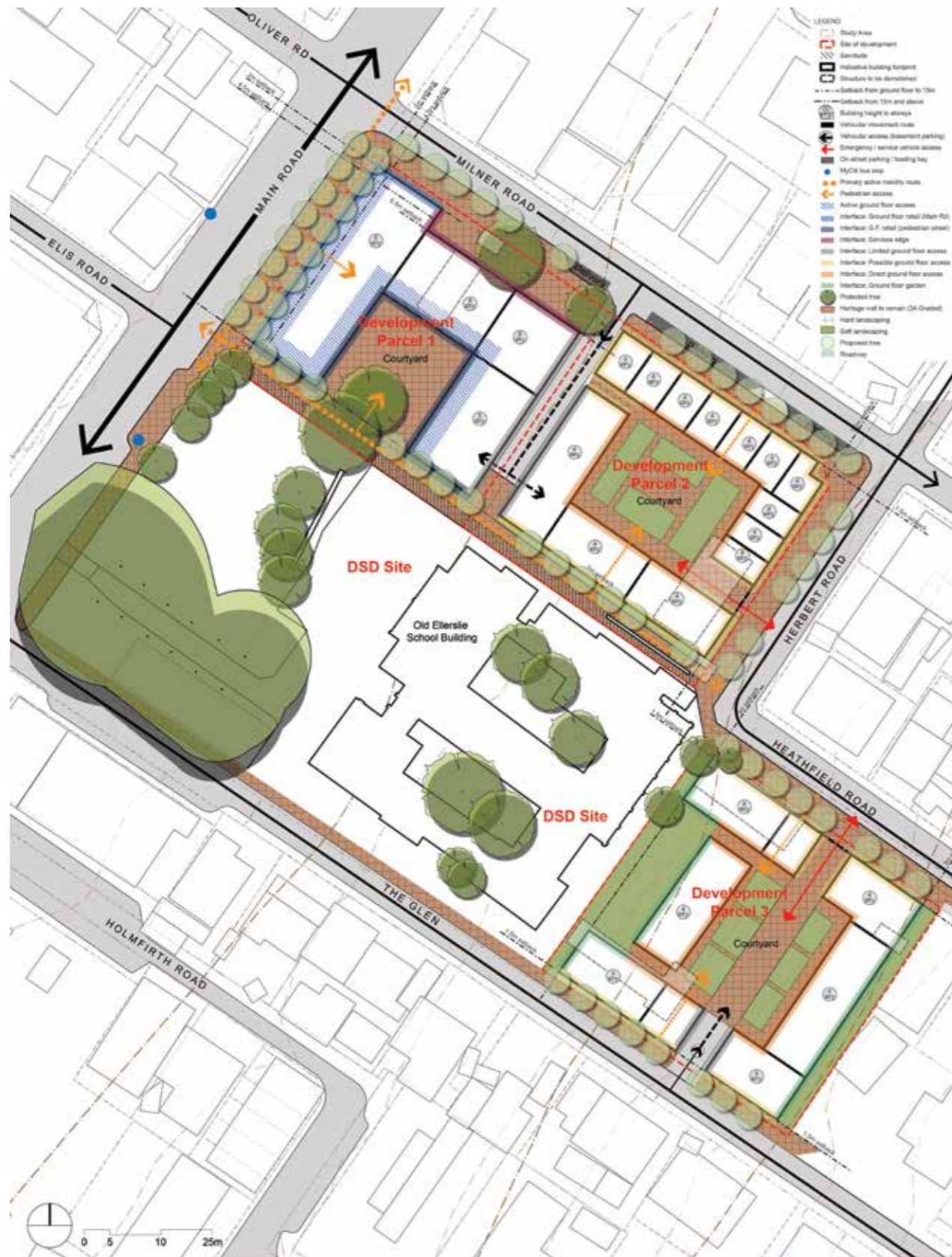
Mass model in context viewed from southwest

CONCEPT DESIGN OPTION 4: LANDSCAPE FRAMEWORK – SQUARE ONE

- STREETScape**
- Main Road Terrace:**
- MR1 Add tree line parallel to existing street trees to humanise the streetscape and provide summer shade/winter sun.
- Residential Buffers (Milner, Herbert and Heathfield Roads):**
- R1 Street trees as buffer, shade in summer, sun in winter.
 - R2 Bioswale planters with weirs along slopes for edge buffering and passive irrigations.
- LANEWAY**
- L1 Trees to provide human scale streetscape.
 - L2 Private edges – use wider planting for screening.
 - L3 Commercial edges – wide laneway to create soft-out spaces for dining and entertainment.
 - L4 Bioswale planters with weirs to manage level changes.
 - L5 Connection between commercial and social housing blocks with planted laneway for safety and activation.
- OPEN MARKET HOUSING PRECINCT: BLOCK 1 COURTYARD**
- S1 Incorporate heritage trees as a central landscape feature.
 - S2 Pergola/arbour structures for human-scaled outdoor rooms beneath apartments.
 - S3 Green roof condition with permeable surfaces to mitigate runoff.
 - S4 Ensure adequate solar access.
- SOCIAL HOUSING PRECINCT: BLOCKS 2 AND 3 COURTYARDS**
- C1 Green roof above basement parking.
 - C2 Courtyard landscape with perimeter paths for apartment access.
 - C3 Central gathering spaces and children's play areas.
 - C4 Quiet buffer zones integrated into courtyard edges.
 - C5 Emergency access routes designed as shared amenity areas (e.g. informal sports) while maintaining functionality.
 - C6 Green roofs as amenity and to mitigate runoff.
- DSD SITE PRECINCT**
- D1 Private garden with protected heritage trees.
 - D2 Movement access route with permeable paver or reinforced gravel space.
 - D3 (Red rectangle) possible car parking forecourt with permeable paver or reinforced gravel space.
 - D4 Courtyard with permeable paver or reinforced gravel space to match D2 & D3.
 - D5 Low planting along edge to create barrier to DSD buildings.



CONCEPT DESIGN OPTION 4



WHAT IS ACHIEVED IN TERMS OF HOUSING UNITS?

The originally proposed 11 storey Option 3D would have realised a total of ± 481 residential units, with 229 units devoted to Open Market residences (49.1% of the GLA), and 252 units to Social Housing (50.9% of the GLA).

The revised 8 storey Option 4 realises a total of ± 440 residential units within the residential land use yield basket modelled.

It is proposed that the social housing units be maximised in future detailed development proposals, with a minimum of 200 units to be allocated to Social Housing.

The unit split is subject to grant availability and market conditions at implementation. A 50% split between open market units and social housing units is recommended and has proven feasible to cross-subsidise and materialise social housing provision within the proposed development.



Zutari 2026

Further Requirements Addressed

SITE INTEGRATION

A key and persistent concern through the process has been the nature of the impact of sub-dividing the site, and the non-programming of the DSD portion of the site, essentially the historic school building complex itself. Although the school building portion will be developed separately and later, the site has been considered holistically and planned accordingly. The guidelines, informants and criteria illustrate the constraints that will apply moving forward and which will need to be embedded in any future planning for this portion of the site. See sections 8.4 and Section 13.1 of the Updated HIA.

KEY INFORMING DIAGRAMS:

There are 4 key diagrams in the HIA which confirm this aspect and which are included in the summary:

- Heritage Design Informants (RSA)
- Development Fixes (Zutari)
- Landscape Framework Plan (Square One)
- Development Concept Plan (Zutari)

These diagrams are aligned and confirm:

- retention of the green space and trees in front of the school;
- retention of historic boundary walls on Main Road and The Glen;
- recognition of the old Ellerslie Road alignment;
- pedestrian way through the site between the proposed subdivided sites, connecting Ellis and Heathfield Roads, with landscaped and built-form interfaces;
- layering of the site development in terms of height to recognise the historic building location and alignment.

Although the site will be developed in two separate stages, the embedded guidelines and criteria will facilitate an integrated development.



Current front facade of school and garden interface



Current interface abutting Wynyard Mansions and historic wall to become pedestrian walkway through the site

Further Requirements Addressed

HERITAGE AGREEMENT

HWC IACom Further Requirements (Point 2) states:

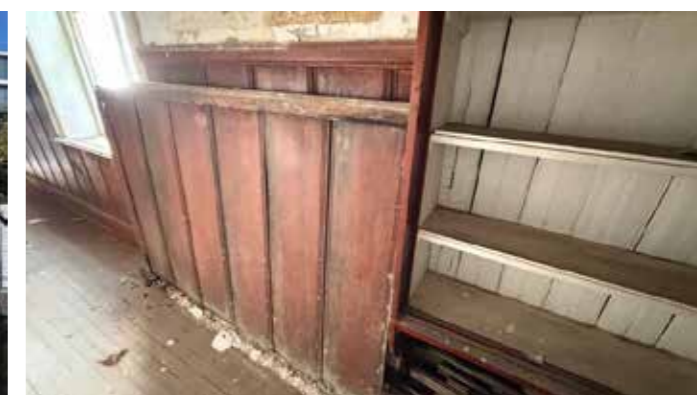
Should the school itself not be proposed for any immediate development within this HIA process, a heritage agreement must be entered into to ensure the continued maintenance and safeguarding of the heritage resources as required in terms of S.27 read with S.9(3)(a) of the NHRA.

The Heritage Agreement is a separate process between Heritage Western Cape (HWC) and the Western Cape Government (WCG) and is to ensure the ongoing maintenance of this portion of the site, buildings and garden in the interim period.

In response to this Further Requirements, the Custodian, Department of Infrastructure (DOI), has drafted a commitment letter addressing their commitment to the safeguarding of the future DSD portion and Ellerslie/Tafelberg building (Annexure E in the HIA).

An outline of elements to be considered is included in the Updated HIA.

The objective is to ensure that the school building complex and its site will continue to be protected and maintained in the interim, while the plans for this portion of the site are formalised.



What Are The Next Steps in terms of Heritage Approval?

- Open House 19th May 2026
- Further Commenting period ends 07 June 2026
- HWC IACom 17 June 2026
- Heritage Agreement to be finalised between HWC and PGWC

QR Code link to
documentation



Naomi Roux



SQ1



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A LIST OF ALL ANNEXURES IS PROVIDED IN A SEPARATE VOLUME

1.0. INTRODUCTION

1.1. Project Background

Zutari has appointed Rennie Scurr Adendorff to manage heritage processes pertaining to the proposed redevelopment of consolidated Erf 1424 (including unregistered Erf 1675), at 353 Main Road in Sea Point East.



Figure 1. Site location and context (RSA, 2025)

1.2. Process to Date

1.2.1. HIA, Eilerslie/Tafelberg High School, July 2011 Rev 2

In September 2011 HWC endorsed the statement of heritage significance and the heritage indicators for the future redevelopment of the site as outlined in the revised Phase 1 HIA report of July 2011. One proviso was the requirement for drawings to demonstrate the principle of fragmented and articulated bulk of any new development. This followed a process of engagement with I&APs and HWC's BELCom Committee resulting in revisions to indicators and grading.

Grading:

The endorsed Phase 1 HIA assessed the site as a whole and found it "to not have significant cultural significance in the context of a province". However, it has "high local significance is centred on the original school buildings ... and the landscape elements associated with its forecourt" (O'Donoghue 2011: 37).

The following elements were graded 3A:

- Early portions of the school building, boundary walls and granite stone wall, plastered painted wall with original gates, internal stone walls, the front garden and the wild fig avenue.

The following elements were graded 3C:

- Late Victorian-era boundary wall with metal railing and the bicycle shed (although there is discrepancy in the report as the elsewhere and in diagrams the bike shed is graded 3A and recommended for retention).

Specific trees were identified for retention:

- Mature trees in the front garden, two yellowwood trees, three mature palm trees and a Norfolk pine tree on the Heathfield Road boundary.

Indicators:

The indicators recommend the retention and restoration of the significant school buildings, the forecourt garden, and significant portions for the boundary walls and entrances. It noted that the assessment of the school building, particularly the hall and its extension, requires further review.

Buffer zones (7m) were recommended to the rear and east elevations of the school building to protect it from impact on significance.

The Phase 1 HIA (2011) identified four areas of the site for development, with the building heights varying depending on location, and setbacks recommended to mitigate potential negative impact to the site. Height limits (with a storey equalling 3m) were recommended as follows:

- Corner Main and Milner Roads maximum of 3-5 stories;
- Corner of Milner and Herbert Roads maximum of 4 stories;
- Upper block behind the school building maximum of 3 stories;
- Development in place of the attached accretions to the rear of the school building to a maximum of 3 stories.

1.2.2. Heritage Report, Wynyard Mansions

A 2022 Heritage Report by Dr André Van Graan assessed the Wynyard Mansions apartment building for the Western Cape Department of Transport and Public Works (DTPW).

Highlighting the confusion regarding the status of the unregistered erf 1675, part of consolidated erf 1424, the report notes that Wynyard Mansions “forms part of the grounds of the former Tafelberg School, although it is a separate erf” but further notes that the “entire site, including the site of Wynyard Mansions” was declared a National Monument, appearing in the Government Gazette on 15 December 1989 (Van Graan 2022: 3).

The Van Graan report concluded that the building “does not have any heritage value” and noted that despite the Provincial Heritage grading of the whole site, the apartment building was not of the same heritage significance as the school (Van Graan 2022: 13). The report did not offer a grading of the building, and “does not have any heritage value” is assumed to mean that it was considered to be not conservation-worthy.

By contrast, the baseline study by RSA in 2023 found that the building is worthy of Grade 3C, largely for its contextual role. This does not inhibit development opportunities for the building, or indeed, demolition. However, any replacement building would be obligated to comply with potentially restrictive development context imposed by the regulatory status of the HPOZ and the PHS. Further research and testing are recommended and consultation with interested parties (including Docomomo SA, a special interest group focussed on architecture of the Modern Movement) in order to determine its wider value and contribution to the site as a whole. In the event of demolition being the recommended outcome, the height, massing and materiality may be design informants to the re-development and reuse of the Sea Point site as a whole.

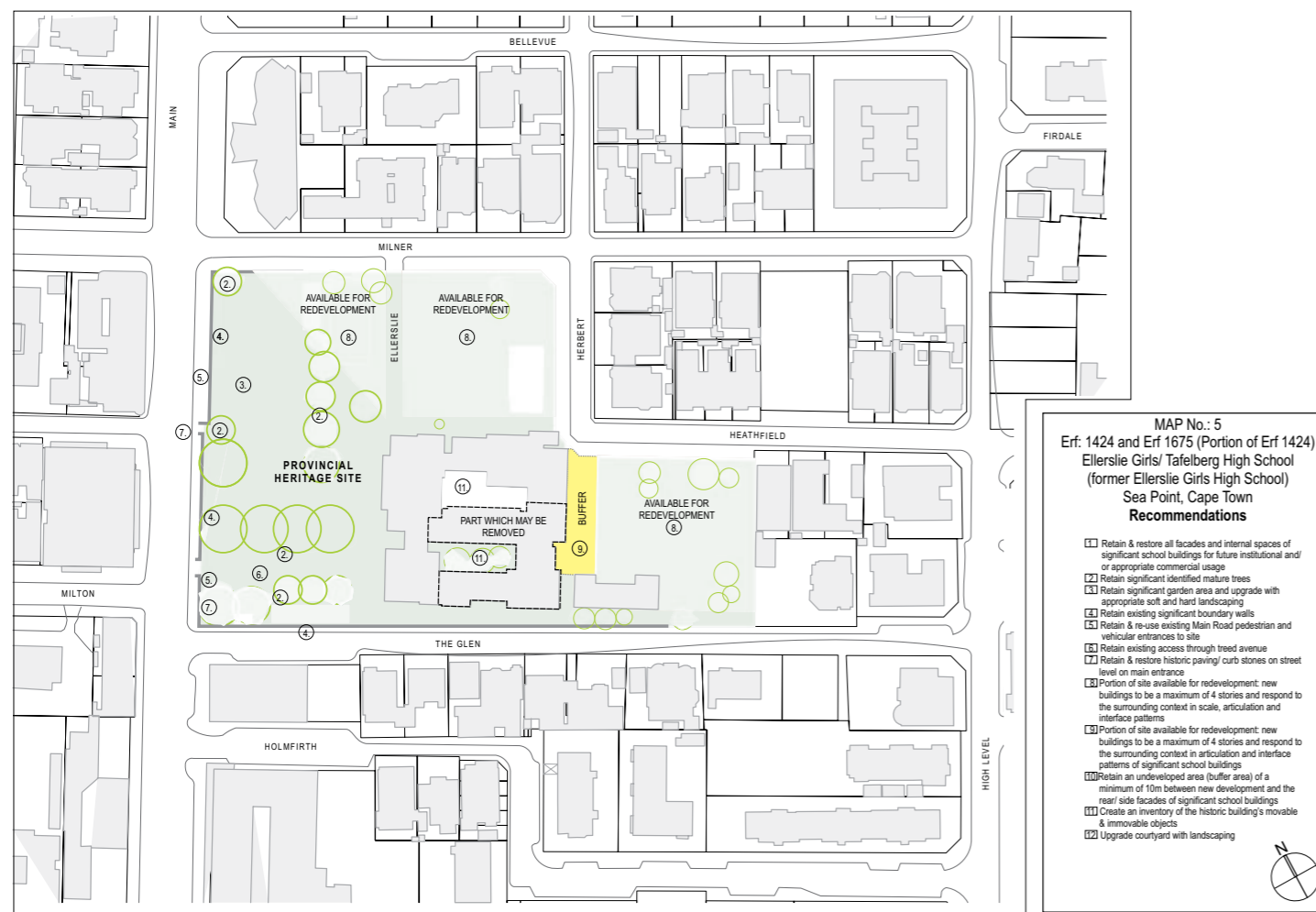


Figure 2. Recommendations (O'Donoghue, 2011: 102)

1.2.3. Tafelberg Site and Socially Inclusive Housing

The future use and development of the study site has become a highly sensitive issue in discussions regarding affordable housing, spatial redress and the right to the city. This is set against the background of the continued spatial segregation of the formerly white suburbs due to economic exclusion. Sea Point was designated as a White Group Area in 1968, with people of colour forced to relocate to other designated areas, and excluded from owning property or residing in the area. This was aside from the employees of white residents, who were allowed to occupy temporary accommodation at their places of work. The legacy of this is seen in the architecture of apartment buildings, which have basement or rooftop accommodation for domestic staff.

The attempted disposal of the Tafelberg Site in 2014 by the Western Cape Government to a private investor was challenged by housing activist group Reclaim the City (RTC), which had identified the site as ideal for affordable housing. The sale was set aside, since which time the ownership of the site and its future use has been determined through court processes. In August 2020, the High Court overturned the sale and ordered both the City of Cape Town and Western Cape Government to create an inclusionary housing plan.

A timeline of events leading to the 2020 decision is explained in “Tafelberg: Four years of battle. The campaign that led to a landmark court decision on housing” (James Stent, GroundUp, September 2020: <https://groundup.org.za/article/tafelberg-four-years-battle/>).

The Western Cape Government has stated that its objective of the draft Inclusionary Housing Policy Framework is to generate “more opportunities for people to live in better locations.” (WC Government 2021). Advocacy group Ndifuna Ukwazi (NU), which works advance spatial redress by motivating development of well-located affordable housing, has used the site as a case study. In NU’s view, the case has become representative of, and complicated by, questions concerning how land in central Cape Town is used when it comes to redressing spatial apartheid, and how the city’s own legislation is interpreted and implemented (Sendin et al. 2017).

NU finds the Tafelberg Site particularly suitable for the development of sustainable inclusionary housing because the area’s desirability and diversity (residential, commercial, civic) allows for economic cross subsidisation of in-fill social housing. Infill social housing, where an existing and established location absorbs new developments, is seen as a vehicle to shift racial and income segregation (Sendin et al. 2017: 55).

In 2023 the Supreme Court of Appeal overturned the High Court judgement, supporting the City and Province claims that they had met their constitutional obligations in terms of provision of housing and access to land. In February 2025 the matter was heard at the Constitutional Court, and that Court has reserved judgement on the matter.

The future development and use of the site remains sensitive, with strongly felt opinions. These include those regarding the negative impact to contextual heritage - the physical, spatial implications - of a development for dense occupation.

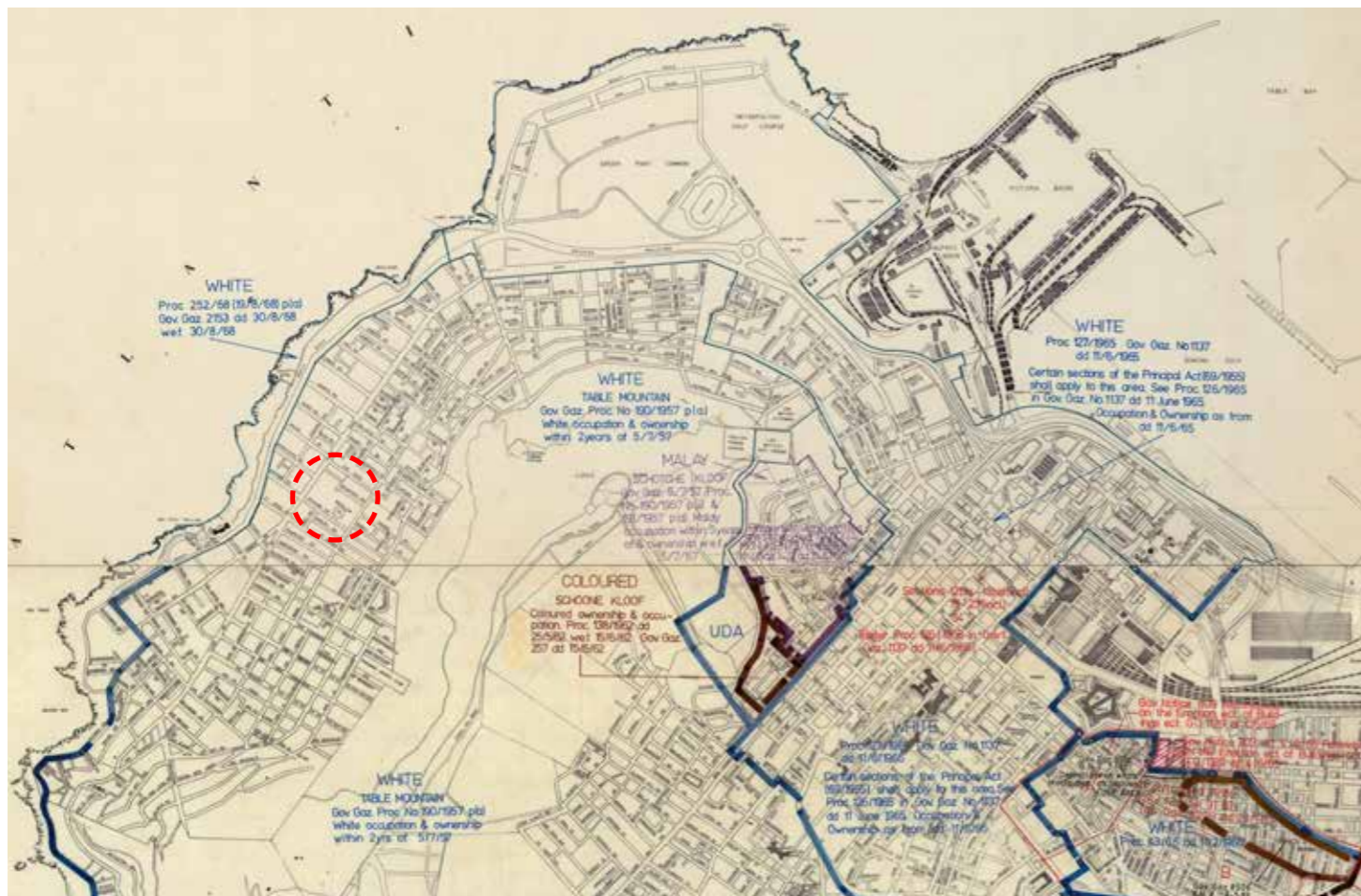


Figure 3. The site area (circled) in a expansive area set aside in 1968 for white residents only (GAA 1975, CoCT Historical Maps Collection)

1.2.4. Tafelberg Site in the Media

In-depth media articles detail the issues and events pertaining to the future use of the site prior to the initiation of the current proposal. These include:

- Zackie Achmat, in a "Letter from Zackie Achmat to Premier Helen Zille, 'If you commit to building affordable housing you will be addressing our resistance with humility and as a leader'" GroundUp 9 June 2016.
- Suné Payne, "Tafelberg site ownership question stalls Western Cape Government's appeal to Supreme Court" Daily Maverick, 13 November 2020.
- Dr Jonty Cogger (attorney at Ndifuna Ukwazi Law Centre), "The Western Cape Government has no excuse not to develop social housing on the Tafelberg property" Daily Maverick, 4 April 2022,
- Mia Arderne, "Turn Sea Point plot into social housing, say activists. Two years after the Tafelberg sale was overturned, progress has stalled. Now the provincial government says it may want to use the land 'in the public interest'" GroundUp, 30 August 2022.
- Tania Broughton, "Housing activists lose Tafelberg case" in Public Interest Legal Services in South Africa, 12 April 2024.
- Suné Payne, "Supreme Court of Appeal overturns aspects of Tafelberg social housing site judgment" Daily Maverick, 12 April 2024.
- Zacharia Mashele and Buhle Booï, "Tafelberg — a battle for justice, inclusion and the right to the city goes to ConCourt" Daily Maverick, 10 February 2025.
- Daniel Steyn and Matthew Hirsch, "Concourt judgment on Tafelberg could change future of social housing" GroundUp, 27 February 2025.



Figure 4. Ndifuna Ukwazi supporters during the ConCourt hearing of February 2025 (Ndifuna Ukwazi, 2025)



Figure 5. Inside the ConCourt hearing, February 2025 (Robin Park-Ross, 2025)

1.3. Statutory Framework

The site, Erf 1424-RE, is situated at 353 Main Road, Sea Point, between The Glen and Milner Roads. Formal protections in terms of Section 27 of the National Heritage Resources Act (NHRA) apply given the former National Monument status (1989, Government Gazette No. 12214). The extent of the Provincial Heritage Site (PHS) has been interpreted differently by reports conducted for the site. In consultation with HWC it has been clarified that:

"HWC deems the site in its entirety to be formally protected as a PHS under the National Heritage Resource Act" (Annexure A).

This Section 27 protection (Annexure B) therefore applies to all structures on the site: the nested structures that make up the Ellerslie/Tafelberg school building, with five free-standing structures spread across the site and an apartment building, Wynyard Mansions, on Herbert Road.

The entire site is located in the formally declared Sea Point Heritage Protection Overlay Zone (HPOZ).

The site has a split zoning in terms of the Development Management Scheme (DMS): Transport, public road and parking (TR2) along the inner Main Road boundary line, General Business (GB5) adjacent to the TR2 zone, with the remainder zoned General Residential (GR4).

1.4. 2023 Process

In order to understand the validity of the 2011 Phase 1 HIA approval, and to determine the most appropriate heritage procedure going forward, the consultants met with HWC officials on 4 September 2023. The matter was clarified as follows:

While the HWC endorsement of the 2011 Phase 1 HIA remains valid: "HWC recommends that a new NID application be submitted due to the change in heritage management approaches, sensitivity surrounding the site, as well as the time that has lapsed since the previously submitted NID." (Annexure A).

1.5. Methodology

Study and analysis of the site and its wider context have been conducted to understand its history, morphology and the significance of the region. The studies that have informed the findings in this report include:

- Historic and contemporary maps, aerial photography and image search online and in published materials.
- Review of known heritage sites in the area, as reflected on SAHRIS and the Cape Town EGS Viewer.
- Review of heritage assessments in the vicinity as captured on SAHRIS.

1.6. Assumptions and Limitations

No limitations were experienced in the compilation of this report. It is however noted that the core part of the site, the Ellerlsie/ Tafelberg school building, is earmarked for usage by Department of Social Development (DSD), and is not earmarked for redevelopment as part of this scheme; it will be subject to a separate Section 27 application in due course.

This HIA does therefore not concern itself with proposed future uses and adaptations of the school complex, but naturally it does speak to interfaces and connections.

1.7. Statement of Independence

Rennie Scurr Adendorff has no legal ties to Zutari or any other professionals involved in this proposal. There is no financial gain tied to any positive comment or outcome. Professional fees for the compilation of this report are paid by the applicant, but are not linked to any desired outcome.

2.0. OVERVIEW OF PROPOSED DEVELOPMENT

2.1. Proposed Development

As per 353 On Main Motivation re Preferred Scenario (Department of Infrastructure, 29/10/2025)

The Western Cape Government (WCG) as custodian of the property formally announced development plans for the 353 on Main Project (Tafelberg site), Sea Point by way of a joint media release dated 30 January 2025 by Minister Simmers (DOI) and Minister Londt (DSD). The WCG aspires to subdivide the site for development and service delivery needs.

The remainder portion of the property (with the main school building and forecourt garden portion along Main Road) has been allocated to the Department of Social Development (DSD) to address its related service delivery needs within the area envisaged for residential care services for people with disabilities and older persons in the future.

The redevelopment portions, totalling 8 647m² in extent currently being investigated by the Department of Infrastructure (DOI), supported by a multi-disciplinary professional team, aims to deliver a residentially led, mixed use development including affordable housing (social housing included). Preliminary stakeholder engagements commenced in May 2025 with a project information sharing day, focused stakeholder engagement sessions and input period during June 2025; and concluded with feedback sharing session 31 July 2025. As part of the process to prepare an inclusive development plan, the inputs received from the stakeholders, impact assessments, technical informants/baseline assessments and financial feasibility study all informed and shaped the draft Development Plan released to stakeholders in October 2025 and will be available for comment and input during the draft Heritage Impact Assessment public comment period and land use application process underway.

The DOI is committed to deliver on its vision for the redevelopment portions and mandate for affordable housing in well located sites, which includes providing social housing units within a mixed-use development within the inner city. The detailed policy/legislative, technical, financial and operational assessments have been concluded, which informed and guided the selection of a preferred viable and feasible concept development proposal, which has been subjected to various iterations and improvements based

on the preliminary stakeholder process and referenced investigations and assessments.

The preferred viable and feasible concept development proposal has been supported to proceed to statutory application and public comment stage. The concept proposals ensures that the social housing unit yield is maximised while the whole development is still viable should the future grant funding not materialise due to SHRA financial constraints.

The DOI, as custodian of the property and in line with its socio-economic mandate of affordable housing (including social housing), has also agreed in principle to input the value of the property as well as any residual land value into the project to ensure social housing opportunities are attained and maximized on the constrained site.

The proposed development will be a flagship project that will benefit the Sea Point area, showcase and foster WCG/DOI commitment to delivering on its mandate by providing social housing within the inner city and an integrated mixed-use development with access to social and bulk infrastructure, various services, transport and work opportunities (limiting travel times).

2.2. Site Description

353 On Main, the Ellerslie/Tafelberg High School site, vests with the Western Cape Government and is earmarked for development, including a component of affordable/inclusionary housing. The L-shaped site faces north on to Sea Point Main Road and extends south, up terraced slopes between The Glen Road and Milner Road. The combined erven measure 16 351,3m².

Erf 1424 is occupied by the school building, a cluster of one and two storey structures developed over 70 years and set well back from the Main Road boundary. The earliest portion of the building, completed 1901, was extended to the rear in 1905 and upwards with a second storey in 1913. The second major addition (1935) connects to the original building and extends to the west/The Glen. The front facade presents as a coherent whole, finished in sandstone, with detailed plaster surrounds to timber frame sash windows. "High School" and "For Girls" is moulded in the plaster work of curved gables of the 1913 upper level extension. Further two-storey extensions, built in the 1950s and 1960s to a similar scale, are attached to the rear. The built complex encloses two open courtyards. The building complex is currently vacant but well-maintained.

Other structures include a free-standing building that is located on the terrace behind the school building extending alongside The Glen, and a swimming pool with built stands and storerooms that lies adjacent to Milner Road. A pavilion style building, the bike shed, added c1930, extends along Glen, between the boundary wall and entrance driveway. The driveway, which dates to an earlier structure on the site, is approached on axis off the Main Road. It is lined with mature wild fig trees, and these and other mature trees surround an open green park space that extends from the school building to the Main Road.

The site is partially enclosed by a boundary wall, which includes stone walling that, along with early walling and stone terraces within the site, pre-dates all structures on the site.

The remainder of open space behind and alongside the main school building is given to sports courts, now in a neglected condition. These replaced earlier villas and rowhouses demolished c1970s. The entire site is enclosed by temporary security fencing.

The upper western portion of the site, on the corner of Milner and Herbert Roads, is occupied by a modernist four storey residential apartment building, Wynyard Mansions. It is cut into the sloped site with a set back top/fifth level. The building form steps down to the historic school site on its west boundary. The building is concrete frame with plastered brick infill and facebrick on the front/Herbert road façade. Primary access to the flats is from the south, which extends via a concrete bridge off Herbert Road to the street level flats. The lower and upper level apartments are accessed from the north/rear via catwalks and a central staircase. Flats include studios on the fifth floor, and one- and two-roomed apartments, some with south/mountain facing balconies. The interiors are well-proportioned, with parquet tile and vinyl tile flooring, timber windows and doors (some broken). As a whole, the building is carefully designed with details that include a deep shadow gap beneath the raised plinth, elegantly shaped concrete bridge, and repeating theme of porthole openings. The building is vacant and in poor condition, with concrete spalling, fire damage to part of one floor, and general neglect.

Wynyard Mansions was built c1951 and acquired by the school in 1974 along with a neighbouring villa since demolished and now a brownfield site. Most recently, Wynyard Mansions has accommodated social housing tenants, administered by the Department of Human Settlements, who were relocated in 2014. This relocation, the attempted disposal of the site and

subsequent legal proceedings (see Section 1.2.3), along with the continued vacant condition of the flats building, has become a public discussion. Local residents, advocacy groups and general public opinions have varied on the most desirable outcome for the site, with public disagreement expressed in the media, thereby revealing some controversy.

The immediate neighbourhood context includes commercial and mixed use commercial/residential buildings along the main road. Extending beside and behind the site are one- and two-storey residential houses (attached and free standing) and small apartment buildings, and an 8-storey apartment building on The Glen.

By virtue of its location in Sea Point, near the CBD and its proximity to economic resources, facilities, infrastructure and transport nodes, the site is well situated for the provision of affordable housing.

NOTES ON TERMINOLOGY

AFFORDABLE HOUSING:
Affordable Housing refers to developments that offer homes at lower prices compared to the general market, making them more accessible for those with limited income (households earning less than R32,000 a month).

Affordable housing can be either social housing, Gap housing, or open-market affordable housing. Social housing and Gap housing are targeted at households earning less than R22,000 a month. Open-market affordable housing refers to housing with prices or values below the overall open market value, and which target below-average income.

SOCIAL HOUSING
Social Housing refers to rental units that are subsidised by the government and managed by accredited social housing institutions (SHIs), where tenants pay reduced rental fees based on their income.

Social housing developers receive once-off subsidies and use rental income to cover maintenance and security costs.

While Social Housing does thus provide 'affordable' accommodation, the two are distinct categories of subsidised accommodation, with Social Housing a component of Affordable Housing.



KEY

- 1. Original axial entrance
- 2. School building 1901/1913
- 3. Kindergarten
- 4. Hall and extension
- 5. 1935 extension
- 6. Classrooms, labs (1950s-1970s)
- 7. c1930 Bike shed
- 8. 19thC granite wall
- 9. Wynyard Mansions
- 10. Music rooms
- 11. Swimming pool & sheds

Figure 6. Naming of parts: Site outlined red. (CFM, 2023)

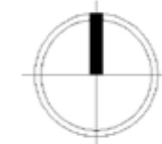




Figure 7. Site boundary walls, Main Road and Herbert Road. (RSA 2023)



Figure 8. Site boundary walls, The Glen Road. (RSA 2023)



Figure 9. Gardens and sports fields, bike shed and pool stand. (RSA 2023)



Figure 10. School buildings exterior. (RSA 2023)



Figure 11. School buildings interior. (RSA 2023)



Figure 12. Wynyard Mansions. (RSA 2023)

2.3. Historical Overview: Site Development

The early settlement and development of Sea Point sites is intertwined with the story of the Cape's most financially well-established and influential burghers, colonial administrators and merchants. The evolution of the built townscape is largely dictated by the boundaries of the first land parcels sold, and their subsequent subdivision. The study site straddles two of these early estates, which became known as Ellerslie and Bellevue.

In 1813, during a period of expansion following British Colonial takeover (1806) the Burgher Senate made 28 lots of ground available for sale by auction (Todeschini & Japha 1989, Murray 1964). The land lay on the slopes of Signal Hill, above what is now the Main Road and between Boundary Road, Green Point to the east and St John's Road, Sea Point to the west. The mostly long, rectangular plots extending from Main Road through and above High Level Road can still be seen in the formation of the urban blocks. Parcels were bought by a small group of 14 land-owning burghers who, using their enslaved labour, developed homesteads with productive lands.

The Elemans survey of 1818 shows structures already occupying these early lots, in keeping with the first phase of urban development. Large, flat roofed homesteads were built on the south side of the main route. Distance from town meant that most of these operated as small farms. They had landscaped sea-facing gardens, with outbuildings that accommodated horses, carts, and possibly also the enslaved workers owned by many of these landowners. Much of the land was cultivated, some for wheat, some used as cattle grazing. The easterly portion of the site for development was part of a double lot developed by 1818 with a large homestead cluster set on the upper slope.

Through the mid-1800s the demographic shifted to wealthy British business owners and public officials, with further development through subdivision and sale of lands. Prime properties were serviced by piped water and the first public omnibus connected Sea Point to Cape Town twice daily. The 1860 Snow survey shows the west portion of the study site developed with a large homestead with two projecting lateral bays and a central covered stoep. It is set well back from the road with the central axial arrival, still a feature of the site, established by this point. There are several outbuildings, and the east boundary is walled - part of that walling is still evident on site in the portion of granite wall to the east of the school building.

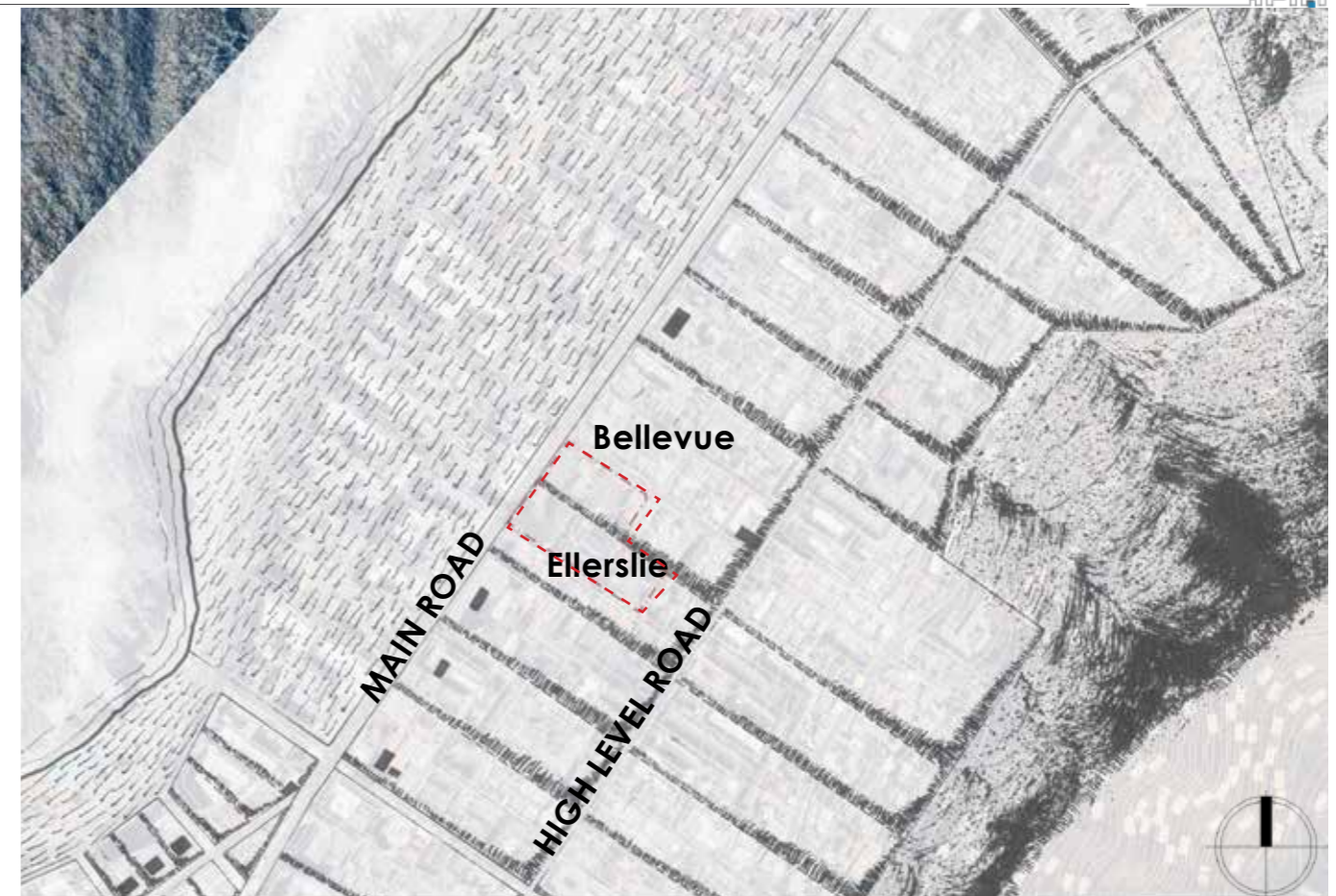


Figure 13. 1818 Elemans Map shows boundaries of lots, with a structure on Lot 27. Site outlined in red. (CoCT EGSViewer, 2023)

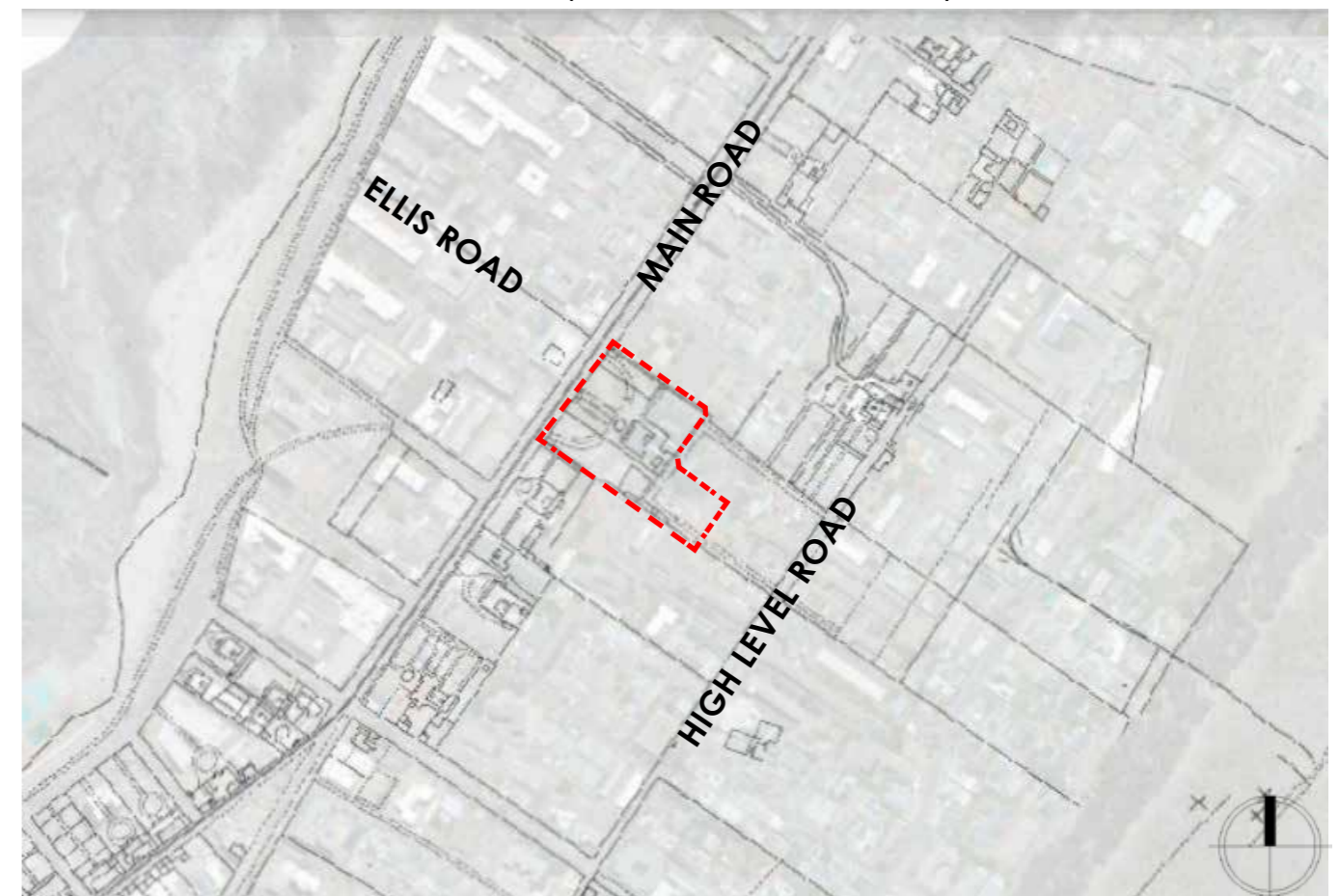


Figure 14. 1860 Snow Survey shows the site developed with a large homestead, outbuildings and a central axial arrival that corresponds with the existing driveway off Main Road. Site outlined red. (CoCT EGSViewer, 2025)

In 1863 the Cape Town to Sea Point horse-drawn tramway opened. This accelerated development, with structures dedicated to the service such as stables, workers' accommodation and depot buildings. This surge of development is evident in the site's morphology, which saw the portion with the homestead subdivided into four separate lots, with the largest of these including the homestead. Transfer to new owners followed in 1854, 1957 and 1862 (SG 3419/1899). Despite the separate ownership, the site remained a coherent estate, as shown on the 1878 Wilson survey, set in developed grounds with orchards and gardens, and surrounded by pine trees (Murray 1964: 70). It is described as having a central fountain, pine tree lined arrival avenue, and being contained by white washed boundary walls (O'Donoghue 2011: 19).

In 1882 J H Van Ryn of the Van Ryn Wine and Spirit Company on Upper Strand Street bought three portions, including Ellerslie homestead, and in 1889 consolidated this by adding the upper portion behind the homestead (SG 3419/1899). The purchase of land to develop Ellerslie Girls School came as a consequence of the growth of Sea Point and a need for a public school for girls. Ellerslie estate was bought by the Undenominational Public School Committee of Green Point, transferring in 1900.

In 1901 architect John Parker designed a single storey structure, adjacent to the villa and situated on the same set-back, with sandstone and plaster window surround detail. In 1902 the Ellerslie Green and Sea Point School for Girls was opened for primary school education, with the homestead augmenting the school facilities. The 1903 survey shows that a "bungalow" on the Main Road boundary, with openings in the boundary wall to the bungalow, to the original axial entrance, and on The Glen behind the homestead. These correspond with openings in the existing wall.

During the 1890s period of rapid urbanisation, portions of the neighbouring estate, Bellevue, were subdivided for development, with new access roads, row houses and four villas - Heatherbelle, Lyndale, Bellevue Villa and Wynyard - added to the easterly portion of the study site. This densification and suburbanisation of the immediate area is evident on the 1903 survey.

In 1905 the Parker building was extended with a kindergarten and hall by architect William Black. With the expansion to include a high school, Black designed an upper story to the original Parker building in 1913, integrating old with new and retaining and/or replicating the original detailing (O'Donoghue 2011: 20-22). At this point the pine trees of the avenue were replaced by the wild fig trees still in existence.



Figure 15. 1878 Wilson Map shows the homestead set in formal grounds, with central fountain, and the development of the surrounding street grid. Site outlined red. (CoCT EGSViewer, 2025)

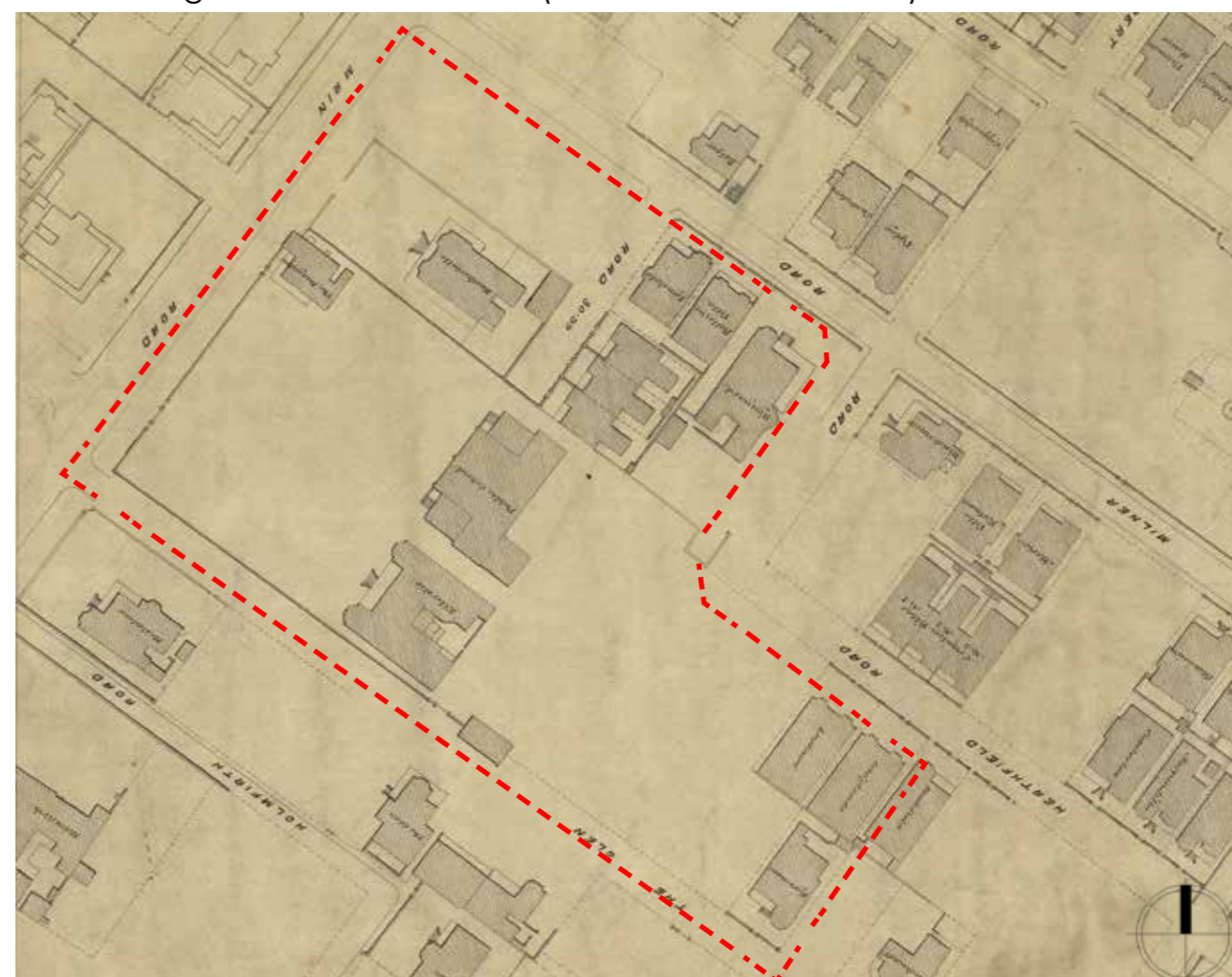


Figure 16. 1903 Plan shows the Ellerslie homestead with the "Public School" adjacent, and the boundary wall along Main Road and The Glen. Other buildings include the "Bungalow", 4 villas and an attached row; Ellerslie road is visible off Milner Road (CoCT EGSViewer, 2025)

In 1935 the homestead was demolished and replaced with a two-storey extension to the school building, sensitively occupying the original homestead footprint and alignment, and finished in sandstone to consolidate it with the school building. The old and new are joined by a recessed portion which acts as the central entrance (O'Donoghue 2011).

The site has been subject to numerous extensions for expansion:

- c1930 roofed bike shed pavilion along The Glen
- 1939 the 1905 hall was extended
- 1952-1954 the additional classrooms extending to the rear (Black & Fagg)
- 1959 alterations to the first floor
- 1964 alterations and additions
- 1970s infill building

In the 1970s the school bought the neighbouring properties with their villas, row houses and Wynyard Mansions. The villas and houses were demolished to make way for sports fields and the swimming pool, while Wynyard Mansions remained standing.

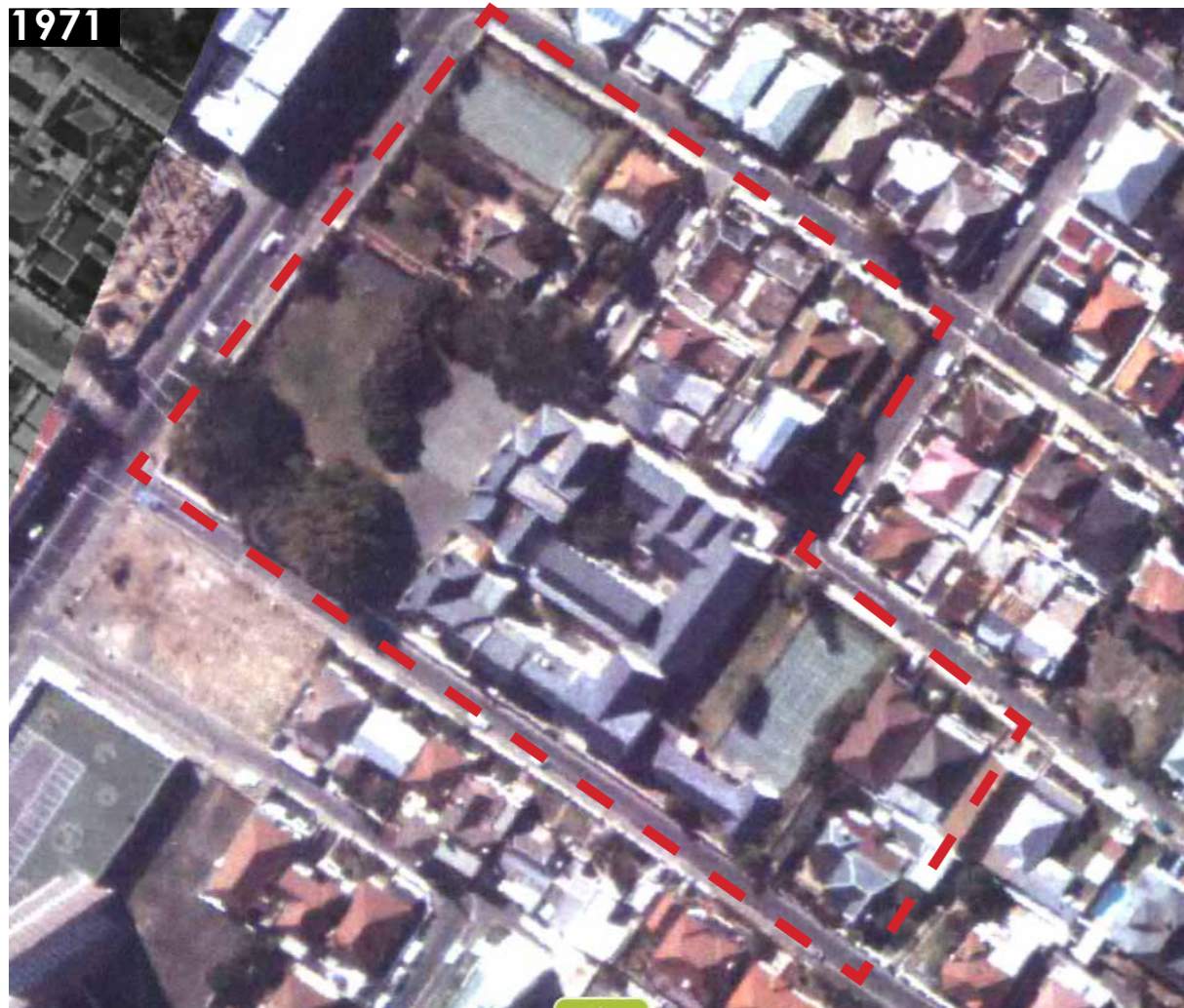
In 1990 Ellerslie School vacated the site and Tafelberg Remedial School took over the facilities until 2010 when it relocated and the buildings have been vacant. Wynyard Mansions remained occupied by social housing tenants until their relocation in 2014, since which time it has been vacant.



Figure 17. Site post 1955, with Wynyard Mansions set behind the row houses, which are not yet demolished; Heatherbelle Villa in the foreground. The Bungalow has been demolished, but opening in the boundary wall remains. (O'Donoghue, 2011)



Figure 18. c1950 shows the Ellerslie school building complex. The Bungalow has been demolished and new sports grounds introduced. (CoCT, 2023)



1926 Highlights:

- New wild fig avenue drive terminating at original homestead.
- School building with kindergarten and hall and rear extension.
- Site surrounded by residential dwellings

1935 Highlights:

- New structure has replaced the homestead
- Bike shed erected

1971 Highlights:

- School building complex fully developed
- Sports fields added.
- Wynyard Mansions added

1980 Highlights:

- Neighbouring residences, rowhousing and most villas acquired by school demolished
- Additional sports fields

Open garden park remains consistently unbuilt through the changes.



Figure 19. Site change through time (CoCT EGSViewer, 2023)

3.0. ARCHAEOLOGICAL IMPACT ASSESSMENT

See Annexure L for full report

3.1. Introduction

An Archaeological Impact Assessment was undertaken (RSA, 2025a) to assess possible impacts to archaeological resources on site. The compilation of the AIA was partly informed by the outcomes of geotesting which was undertaken under archaeological monitoring in terms of a workplan approved by Heritage Western Cape.

Given the long history of settlement and development on the site, pre-colonial material is not anticipated, and certainly not significant, in situ deposits. Historical period materials, features and/or structural remains could occur, however, dating to any period of the utilisation of the site, from its origins as a farmstead, up to and beyond its use as a school. It is anticipated that early remains would likely be concentrated near the original location of the farmhouse, and located in features such as middens, wells or other pits; any other material from this earliest period would likely include isolated historical artefacts – glass, bone, metal, ceramics. . As the 1936 school was built on the footprint of the demolished homestead, it is not anticipated that structural remains of the main farmhouse will be encountered.

Finds related to the use of the property as a school are likely to be less concentrated, and occur as scattered, isolated finds across the wider area, related to the movement of children. Structural features can be expected to correlate with the known locations of buildings as depicted on historic plans and surveys, but it is possible that remains could occur that do not correlate with any known buildings captured to existing plans.

3.2. Identified archaeological heritage resources

Prior to design development progressing, geotechnical testing of the site was undertaken to characterise the underlying geological composition of the site. This work provided an

opportunity to inspect below ground conditions on a site that is predominantly paved and/or built over.

Five holes were dug across the site, with care taken in siting the holes to avoid the area around the historic homestead which was identified as potentially holding archaeological significance. Holes were hand dug to a depth of 1.5m, and inspected by the archaeologist during excavation, and prior to backfilling.

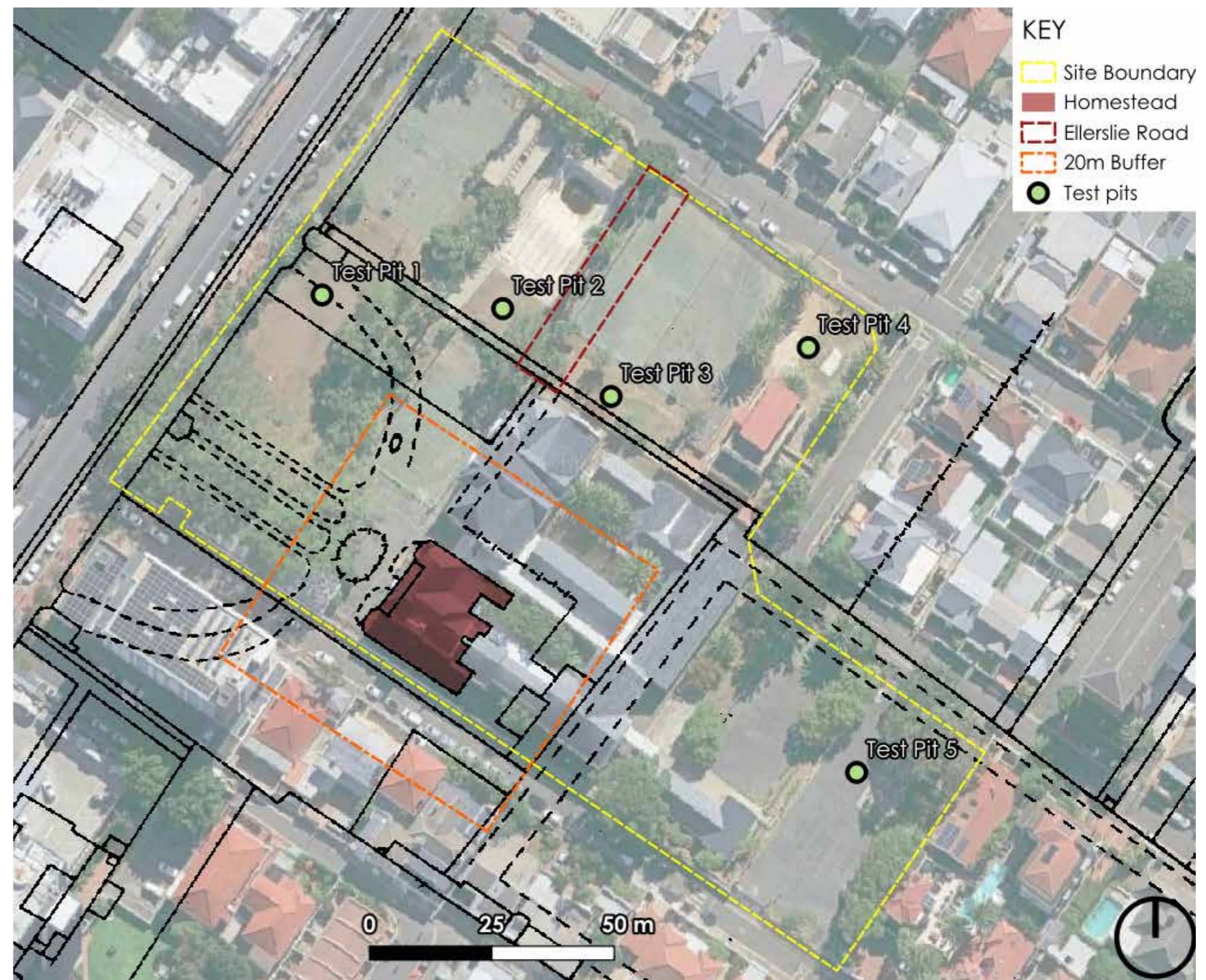


Figure 20. 10 and 20m buffer zones respecting the historic homestead site within the school complex, with the locations of the test pits indicated (RSA, 2025a)

The outcomes of the geotesting revealed no evidence for below ground structures, features, or deposits. Test Pit 1 had some slate debris and redbrick rubble in the south eastern corner of the trench, but this did not appear to reflect in situ structural remains. Test Pit 4 revealed a horizontal concrete feature across the western extent of the trench, but this was not considered of any great age or significance.

Two sherds of C19th/C20th European transfer printed earthenware ceramics were retrieved from excavation of Test Pits 1 and 3 - the two pits closest to the homestead site and to the school building.

No further archaeological remains, features or structures have been identified on site, although the possibility of such remains occurring below ground cannot be discounted. This includes possible remnants of the Ellerslie Road surface below current ground level; the fabric of this surface is not known, although it could have been cobbled.

3.3. Archaeological Indicators

The most archaeologically sensitive portion of site is the area closest to the site of the historic homestead (see Figure 20), now occupied by the 1935 extension to the school building.

Any development, earthmoving or excavation in proximity to this area should be undertaken under monitoring by an archaeologist to ensure that, should any archaeological material, structures or features be encountered, these can be appropriately mitigated. The archaeologist should be on site for any development within 10m of the historic homestead, while occasional monitoring would be sufficient for any development outside of this zone up to 20m from the homestead. Mitigation of any material encountered in proximity to the homestead might include recording prior to destruction, or could extend to excavation. This would be determined by the nature, condition, and significance of the material identified.

Should the old Ellerslie Road alignment survive, and prove to have been cobbled, retention and reuse of these cobbles should be considered.



Figure 21. Test Pit 1 (left) and Test Pit 2 (right) (RSA, 2025a)



Figure 22. Test Pit 3 (right) and Test Pit 4 (left) (RSA, 2025a)



Figure 23. Ceramics from TP1 (left) and TP3 (right) (RSA, 2025a)

4.0. SOCIO-HISTORICAL STUDY

See Annexure M for full report (Roux, 2025) and Supplementary Comment (Roux, 2026)

4.1. Background

A Socio-Historical Study (SHS) was compiled to inform the HIA process, focusing on the intangible significance and collective memories of the site and structures at 353 Main Road (Roux, 2025).

The study was informed by interviews that provided information on associations, memories and site significance; participants all signed consent release forms, and have been anonymised for the report. Interviewees included representatives of Ndifuna Ukwazi and Reclaim the City, representatives of the Sea Point Fresnaye Bantry Bay Ratepayers' Association, representatives of YIMBY Sea Point (formerly Sea Point For All), alumni from both Ellerslie and Tafelberg schools, and long-term Sea Point residents from a range of backgrounds. Desktop and archival research included historical literature, media coverage of activism related to the site, and prior reports.

4.2. Socio-Historic Context

In relation to the history of Sea Point and the site, the SHS (Roux, 2025: 5) notes that "while the archive and official records most often reflect the influence of landowners, merchants, burghers and colonial administrators, the unrecorded labour of many people was intrinsic to the shaping of Cape Town's early homesteads, estates, and urban areas. This includes the labour of enslaved people, whose presence is often silenced in the archive. In the case of Ellerslie and Bellevue, for example, the estates would not have been able to function – indeed, could not have been built and furnished – without the work of artisans, labourers, enslaved people, agricultural workers, domestic staff, and others."

The "entanglement" of wealth and land, and working-class labour in Sea Point has had a long history - that continues today - with segregationist politics regulating this dynamic in the C20th. Sea Point saw early forced removals following the 1902 Natives Reserves Location Act, with black municipal workers living in a block known as "workmen's quarters", later as "the Council Flats", moved by the municipality from the Tramway Road area to the Docks Location in 1902.

Houses had been built in the Tramway Road area by the Cape Town and Green Point Tramway Company in 1877 to accommodate their workers, and once the Company closed in 1895, the area remained occupied by generations of "mostly working-class coloured families along with smaller numbers of white, Indian and black residents" (Roux, 2025: 6). The residents of this area worked in local homes and businesses, and established a strong sense of community between generations of families and neighbours.

In 1957, Sea Point was declared a whites only area under Group Areas, and the remaining black and coloured residents of the historically mixed Tramway and Ilford Roads area. The persistence of people of colour in the area, despite this legislation, is evident in the architecture of Sea Point, with many apartment blocks and houses having 'servants' quarters' on the property. "Participants interviewed for this study spoke of their experiences living in these designated rooms on their employers' properties well into the 2000s, describing the built-in precarity and generally poor conditions of these housing options" (Roux, 2025: 7).

Major changes have occurred in Sea Point since 1991, and this was reported by many of the interviewees (Roux, 2025: 7). After democracy, the City of Cape Town underwent extensive structural change that had direct impacts on infrastructure, housing and other amenities. While Group Areas Act was repealed, the race and class divisions it had engendered remained in Sea Point, exacerbated by the cost of property in the area. "As in many other formerly "white" suburbs, Apartheid-era patterns of labour, residence and transportation remained in place, including long commutes for many lower-income workers travelling daily between their homes in townships on the city's outskirts and their places of work in Sea Point" (Roux, 2025: 7).

Lower and middle class residents managed to remain in Sea Point through the 1990s and early 2000s, as reported by the interviewees. Subsidised housing, such as at Wynyard Mansions, residential hotels and hostels, or rental of old 'servants' quarters' all provided affordable options for accommodation despite the high levels of inequality. Accompanying this more mixed character, interviewees report a "strong historical sense of community which has become increasingly fragmented since the uptick in development from around 2010" (Roux, 2025: 9). As new developments increasingly comprise small, expensive apartments suited to single people or digital nomads, options for families, and particularly young couples with children are limited, while rising property rates are crippling pensioners and low income households, even in paid-off properties.

4.3. The Socio-History of Ellerslie and Sea Point Schools

The social cohesion of Sea Point, as related by interviewees, was enhanced by the presence of several schools in the area, including Ellerslie School, despite these being designated whites only under Apartheid.

Ellerslie School for Girls, opened in 1902, has long roots in the area, with pupils having been transferred from the Undenominational Public School of Green and Sea Point in Three Anchor Bay. By the 1930s there were at least three public primary, and two high schools serving the community, reflecting the rapid densification of the area. While under apartheid, these schools were reserved for whites only, and served the local community, since c.2000, the vast majority of pupils at the school commute from elsewhere, spending hours travelling into Sea Point each day. "This shift in transport and residential patterns was identified by several interviewees as a factor impacting on the sense of the school as a centre of gravity or cohesion in the community", and this dynamic is repeated by people travelling into the area for work (Roux, 2025: 12).

Many interviewees who were Ellerslie alumnae recalled the community of the school as interlinked with the sense of community in Sea Point more widely, conflating "sense of nostalgia for the school with nostalgia for a sense of community, safety and belonging that they feel has been lost" (Roux, 2025: 12). Interviewees shared a sense that the school was embedded in the community, with active parent participation, local enrolment, and generational links to the school. In turn, attendance at Ellerslie was reported to embed pupils in Sea Point, a sense heightened by the fragmentation of any sense of community in the recent past.

The character of the school as a single sex girls' school was central to alumnae memories and stories of it, from the expectations around pupils' behaviour to the classes on offer all reflecting wider societal gender norms.

Ellerslie and Sea Point Boys were amalgamated in 1989, with the new school occupying the former boys' school property, a move felt as a loss of identity for Ellerslie. The move was motivated by the age and condition of the Ellerslie building, which required more maintenance, while Sea Point Boys had a larger hall.

After the girls' school vacated the premises, the property was allocated to Tafelberg Remedial School while its Bothasig campus was built. Tafelberg

necessarily served children from a wider catchment area, and students commuted to the school from across the city. This change severed the link between the school and the community, although "it is significant that Tafelberg school was fulfilling an important inclusive educational mandate in Cape Town at this time (and continues to do so). This culture of supportiveness, inclusivity and enablement is a key aspect of its intangible heritage (Roux, 2025: 16).

4.4. The Socio-History of Wynyard Mansions

Wynyard Mansions was built in 1951, and bought by the Cape School Board in 1969. The twelve apartments, ranging from bachelor studios to three bedroom flats, were rented on the open market, at reasonable and stable rates. Following the departure of Ellerslie School from the site in 1990, the Board returned the property to the then Department of Local Government, Housing and Works, and then, in 1994 to the Development and Housing Board. The DHB formally allocated the block for subsidised housing. New leases were drawn up for existing tenants, and new tenants were derived from housing waiting lists; rentals were charged proportional to income. Roux (2025: 17-18) notes that "a memo from the Department of Housing and Works in 1993 indicates that part of the rationale for allocating Wynyard Mansions (and another small block in Gardens, Mandarin Court) as social housing was that both these areas had become built up with apartment blocks mostly aimed at higher-income residents, and that there was therefore a pressing need for affordable housing in these areas to prevent workers from having to undertake long inconvenient commutes."

It was decided to vacate the entire property, owned by the Department of Public Works, and managed by the Department of Human Settlements, in 2010, and eviction notices were served on all Wynyard Mansion tenants. Some residents resisted eviction, and the last moved out in 2014.

Former Wynyard Mansions tenants' stories were derived from rental records, as none could be located to interview (Roux, 2025: 18). These records reveal that most residents were women, many in marginal, vulnerable circumstances, but also families with children. The records relate problems with the flats and between tenants, but Wynyard represents "an important precedent on the site of 353 Main Road for housing practices that enable the wellbeing of families and children" (Roux, 2025: 20).

4.5. Tafelberg (353 on Main) and Housing Activism

The sale of the Tafelberg site to the Phyllis Jowell Jewish Day School in 2015 was the point at which it became a focal point for housing activism in Cape Town. At the time of the sale, the site had been vacant for four years, although a 2012 “feasibility study by the Social Housing Regulatory Authority had found that it could potentially accommodate at least 200 homes at social housing rates, plus a community hall or similar facility and a retail portion. At around the same time, the Provincial Department of Human Settlements had indicated in 2013 that the site was suitable for social housing development” (Roux, 2025: 23).

Despite opposition by Ndifuna Ukwazi (NU), the Social Justice Coalition and Equal Education, the sale went ahead, leading to, in February 2016, the formation of the Reclaim the City (RTC) campaign. RTC announced its intention to take the sale to court, while NU launched an interdict to halt the sale. “In May 2016, the Provincial government committed to reopen the intended sale plans for a 21-day public commentary period, and agreed to refer the final decision to the Provincial Cabinet. In this period, over 5000 submissions were made to the Provincial Cabinet” (Roux, 2025: 24).

The matter first came before the courts in May 2017, where NU and NTC brought a High Court application to overturn the sale arguing that the “Western Cape Provincial Government and the City of Cape Town had failed in their obligation to address spatial injustice and the legacies of apartheid in the city, and to provide well-located social housing in Cape Town” (Roux, 2025: 26). Affidavits included testimony from former Sea Point and Wynyard Mansions residents.

By the time the matter came before the Constitutional Court in February 2025, the Western Cape Department of Infrastructure had “announced the intention to build a mixed-use development including social and affordable housing on the Tafelberg site, while the portion containing the school building itself has been committed to the Department of Social Development” (Roux, 2025: 27).

Roux (2025: 28) notes that “353 Main Road has played an important symbolic role in struggles for housing justice in Sea Point and Cape Town. The sale of the property, alongside ongoing evictions and a sense of rising inequality and insecurity, was the major catalyst for the launch of RTC and for the occupations of Helen Bowden and the Woodstock Day Hospital.”

4.6. Identified Socio-Historic Informants

Community and Family Connections

Most interviewees spoke of a past sense of a cohesive community with a shared identity, further enhanced for those linked to Ellerslie School by the ties generated by that connection. Many further reflected that this connection is being lost, primarily as a result of the types of development that are currently proliferating, and that negatively impact neighbourhood dynamics and integration.

“It is significant that this experience of a particular kind of community was, in general, a white, middle-class, family-oriented one that was dependent on specific family structures and neighbourhood geographies. The experiences that were available to Ellerslie students and their families were not available to all of Sea Point’s many communities, many of whom suffered separation from family and constant housing insecurity” (Roux, 2025: 29).

Educational Histories

The long history of the site as an educational space is an intrinsic part of the character of the property. For the generations of women who attended Ellerslie - many still resident in Sea Point - and the former pupils from Tafelberg Remedial School, the site holds significant memories of their time at school, and the teachers and experiences that shaped them there.

Gender

The site holds association with “multiple threads of gendered history” (Roux, 2025: 29). These associations are linked to the experience of pupils at the school, which subscribed to “particular ideas of gender and womanhood in its disciplinary and educational approach” (*Ibid.*), and to the space provided by Wynyard Mansions to, predominantly, women and women-headed families. The prominence of women in the housing activism of Sea Point is also inextricably linked to the site, with many women in leadership positions in RTC having been the domestic workers, caregivers, cleaners and others who formed Rainbow Housing, an early activist group, in the 1990s.

Affordable Housing

The site was the catalyst for the formation of RTC, and is thus also linked to the ensuing occupations of Ahmed Kathrada House and Cissie Gool House that RTC has spearheaded since its establishment. Wynyard Mansions, however, also links the site to affordable housing, providing a “decades-long precedent for subsidized housing at 353 Main Road” (Roux, 2025: 30).

Spatial Justice

The 353 On Main site “has acquired important symbolic status as the catalyst for contemporary activism around housing and spatial justice in Cape Town” (*Ibid.*). The court cases arising from the 2014 sale of Tafelberg, and the foundation of RTC, have resulted in “the emergence of new discourses and public debates about housing and justice in the city” (*Ibid.*).

These events, and the public interest they have generated, have served to highlight how the social geography engineered by Apartheid persists today, and impacts people's lives by entrenching inequality.

Public vs private space

The splitting off of the school building and forecourt from the remainder of the site for use by the Western Cape Department of Social Development (DSD) has raised several concerns related to the potential accessibility of this portion of the site as a community facility and the question of public access to the forecourt and historic avenue.

Some I&APs (including the Sea Point, Fresnaye and Bantry Bay Ratepayers and Residents Association) have argued that closing the forecourt off to public access as a result of the allocation of the land to DSD represents a lost opportunity for an integrative community amenity and public space.

Countering this argument is the claim that the site's historical use as a school has meant that restriction of public access is expected and appropriate. In this view, maintaining the garden as a private or semi-private space is in line with the historical status quo and not a departure from it.

Socio-historic uses and accessibility of the forecourt

The forecourt, garden and fig tree avenue are closely associated with memories of the school, in both its incarnations as Ellerslie and Tafelberg. As recounted by alumnae and teachers from both schools, the green space created a strong sense of place and contributed to a sense of belonging for those within the school communities. For example, several of the Ellerslie alumnae interviewed for the socio-historical study recalled the sensory and visual experience of the fig tree-lined avenue as an approach to the school, as well as memories of spending time in and around the garden as a social and leisure space that fostered interpersonal connections.

During this time, the garden was indeed not an open public space: it turned inwards towards the school community and was not available for use by the

public. However, it contributed to the streetscape and still offers a visual respite from the urban density that surrounds it. The values associated with the space by its historic users remain embedded within the space and should inform its future use.

Table 1. Summary of Socio-Historical Heritage Values (Roux, 2025: 30-34)

Socio-historical themes	Associated values	Associated spaces	Implications for development
Community and family connections	<ul style="list-style-type: none"> - Community cohesion and inclusivity - Addressing and mitigating current sense of community fragmentation and loss of cohesion - Wellbeing and cohesion of families, including the wellbeing of children - Inclusive approach to family and community cohesion and wellbeing: expanding a sense of community belonging and embeddedness to all. 	Site as a whole School buildings Wynyard Mansions School forecourt space	<ul style="list-style-type: none"> • This theme and associated values are of high local significance at the neighbourhood and city level. • Values associated with community and family connections and cohesion should be a key informant for future development plans. • 353 Main Road has the potential to act as a 'centre of gravity' for a revived and more inclusive sense of community cohesion and family integration in the neighbourhood and the city. • This includes the opportunity for people at all income levels to live in close proximity to workplaces and schools, supporting a sense of belonging, integration and the wellbeing of families. If parts of the site are developed for housing, it is important that sufficient provision is made for families (as opposed to, for example, an oversupply of bachelor/micro-apartments). In light of this, it is also important that design supports physical accessibility for elderly and disabled residents. • These values could also potentially be supported by amenities which support inclusive community functioning. These may include, among others: civic facilities, information hubs, education, childcare, elder care, space for outdoor leisure and play, public health and other domains alongside housing. The site's social and community functions should be well-integrated, rather than siloed, with particular attention paid to shared facilities and public/leisure spaces on the site.
Educational histories	<ul style="list-style-type: none"> - Inclusive, accessible education (with strong links to both women's education, and inclusive remedial education) - Integration of educational facilities in surrounding community 	Site as a whole School buildings School forecourt space	<ul style="list-style-type: none"> • The site's history as an educational centre is of high local significance at the neighbourhood and city level. • This history also carries high significance at a provincial/regional level, given Ellerslie School's connections to early educational histories in the Cape. • This does not necessarily mean the site must be used specifically for educational purposes. However, the core values of inclusivity and accessibility should be key informants for both the design and future use of the site. This may include solutions which enable families with school-going children to live close to the existing public schools in and around Sea Point, further supporting community cohesion and the integration of schools in the day-to-day life of the surrounding community instead of requiring children to undertake long, difficult commutes.
Gender	<ul style="list-style-type: none"> - Gender inclusivity and sensitivity in design - Reflecting histories of women's leadership 	Site as a whole School buildings Wynyard Mansions	<ul style="list-style-type: none"> • The site's gendered histories are of medium local significance at the neighbourhood and city level. • This is based on its important role in women's education via Ellerslie School, and the role Wynyard Mansions played in giving many women in difficult circumstances a well-located foothold in the city. It also draws on the broader history of women's role in housing activism in Sea Point via Rainbow Housing and RTC. • These values should be reflected through a gender-sensitive approach to development and design. This includes spatial elements and facilities (for example, on-site childcare, consideration for safety and security, awareness of the specific needs of women-headed households) and structural aspects of delivery, decision-making and participation

Socio-historical themes	Associated values	Associated spaces	Implications for development
Affordable housing	<ul style="list-style-type: none"> - Addressing housing inequalities, including affordability and security of tenure - Integrated, dignified living space well-located for work, economic opportunities, social and civic amenities 	<p>Wynyard Mansions</p> <p>Site as a whole</p>	<ul style="list-style-type: none"> • The site's connections to affordable housing provision and activism is of high local significance at the city and neighbourhood level. • This is based both on the role of Wynyard Mansions in affordable housing provision in Sea Point historically, and in the important symbolic role of the site in catalysing housing activism in Cape Town. • These values should inform development through a clear and intentional focus on providing not only affordable and social housing, but also integrated amenities and facilities with the potential to foster a sense of the site as a 'centre of gravity' for community cohesion, accessible housing, and equitable access to civic amenities. • It is clear that the struggle for housing in Sea Point and in Cape Town is about more than just shelter: it is also about equitable access to economic opportunities, the wellbeing of families, and embeddedness in the community. In light of this, it is important that any development takes a holistic view and aims for a sense of integration rather than separation or siloed facilities.
Spatial justice	<ul style="list-style-type: none"> - Redress and transformation of apartheid geographies - Meaningful realization of rights and equal access to opportunity - Social justice reflected in spatial design, housing provision, and access to civic facilities and amenities 	<p>Site as a whole</p>	<ul style="list-style-type: none"> • The site's history as a symbol of spatial justice activism in Cape Town and more widely is of high local significance at the city level. • This significance also extends to the provincial/regional level as it speaks to the redress and transformation of apartheid planning and social fragmentation beyond the city's borders, impacting on the broader region and the Western Cape province as a whole. • Closely related to the site's associations with affordable housing, these histories call for integrated development looking beyond only the provision of shelter. This calls for a creative development approach to create space that supports access to opportunities, community cohesion and inclusivity, and access to civic facilities that support these goals. Affordable housing is a key pillar of realizing spatial justice, but should not be treated in isolation.
Forecourt use and access	<ul style="list-style-type: none"> - Associated with historic use of school, - Not historically public, but an important green space and contributor to streetscape 	<p>School forecourt space</p>	<ul style="list-style-type: none"> • Re-imagining the forecourt as a more accessible public, shared or semi-public amenity would be in line with the socio-historical research findings around the school and Wynyard Mansions as spaces of belonging, community integration, arrival and connection. • At the same time, practicalities and legal provisions related to the as-yet-undefined future use of the school building by DSD must be reasonably considered and these may impact on the ability to ensure public access to the space.

5.0. ARCHITECTURAL AND CONTEXT ANALYSIS

See Annexure N for full report

5.1. Architectural Analysis

In order to address the specialist Townscape and Built Environment Assessment / Analysis requirement of the Response to the NID, an Architectural Analysis was compiled to identify heritage significances related to the townscape and built environment context, and to establish heritage-related indicators to guide the response of the intended development

5.1.1. Ellerslie School

The school building, designed by distinguished Architects (John Parker: 1901 - lower portion and William Black: 1913 - upper portion), is double-storey except for the school hall and the kindergarten. The main façade of the school building has a Table Mountain Sandstone façade with plastered window surrounds. The slate roofs are hipped with two plaster moulded gablets and sets of plastered windows surrounded under each gable on the front façades.

The main entrance is placed in the linking part between the original school building (Parker) and the 1936 building extension (William Black). The kindergarten school has a plastered Art Deco Portico. The main hall is situated at the rear of the school, adjoining the Kindergarten. Internal volumes of the 1913 and 1936 sections of the school are generous, with an internal height of approximately 4.5–5 meters on the ground floor. The upper floors have exposed timber trusses or timber ceiling boards fixed to the underside of the roof trusses.

The building is an example of late Victorian Institutional architecture. Significant for all past pupils, parents, teachers, and Sea Point residents. The historic school buildings demonstrate a past design style that is intrinsically significant due to its age, scarcity value, intactness, Representational value, and the evidence of historical layering. Contributes to the site's heritage significance for Architectural, aesthetic, historic, and social values (O'Donoghue, 2011; van Graan, 2022).



Figure 24. Ellerslie elevation, Parker, 1899 (UCT Libraries, 2025)



Figure 25. Ellerslie school exterior and interiors (RSA, 2025)



353 On Main Updated HIA



Rennie Scurr Adendorff



5.1.2. Wynyard Mansions



Wynyard Mansions forms part of the grounds of the former Tafelberg School, although it is a separate erf; it was never part of the school but was let as subsidised accommodation. There appears to have been some intention in the 1970s for the school to acquire the site, demolish the flats and erect a school hall. The property is no longer occupied and is now in a semiderelict condition.

The flats were designed in c.1951; the structure is a concrete frame with plastered brick infill, and facebrick walling on the east façade facing Herbert Road. The building is in poor condition as a result of vandalism, and there appears to have been a fire on the upper floor. Many of the glazing units facing Herbert Road have been damaged or removed. The concrete structure is still in a good condition despite the damage to the timber windows.

The building does not have any intrinsic significance, but holds symbolic, associational and intangible significance through its historic links with the provision of subsidised housing in Sea Point. Despite the Provincial Heritage Site status of the whole site, it is not of the same significance as the school.



Figure 26. Wynyard Mansions exteriors (RSA, 2025)

5.2. Site Chronology

5.2.1. Introduction

This chronology begins in the 19th century, when the site formed part of the Ellerslie Estate. The infrastructure development in Sea Point in the 1900s led to the densification of the site. The site was transformed into a mixed-use area that included educational facilities and staff accommodation in neighbouring houses acquired by the school. By the late 20th century, the site became less densely populated, with on-site houses demolished and school sporting facilities occupying the brownfield areas. Currently, the on-site buildings are vacant, and the open spaces and sports facilities are neglected.

5.2.2. Dutch Homestead

The Dutch Homestead, located within the Ellerslie Estate and adjacent to the Bellevue Estate, dates back to the 19th century. In 1882, J.H. Van Ryn of the Van Ryn Wine and Spirit Company on Upper Strand Street bought three portions, including the Ellerslie homestead. By 1889, he had consolidated the property by acquiring the upper portion behind the homestead. Today, the site is partially enclosed by a boundary wall with stonework and terraces that predate all existing structures.

On September 28, 1899, the Education Department purchased the Ellerslie Estate for a girls' primary school. The Undenominational Public School Committee of Green Point acquired the estate, with the transfer completed in 1900. Initially, the original homestead was used as classrooms until the new school building was constructed. During the rapid urbanisation of the 1890s, parts of the neighbouring Bellevue estate were subdivided for development. The bulk of the infrastructure was added to the eastern portion of the site, including new access roads, row houses, and four villas— Heatherbelle, Lyndale, Bellevue Villa, and Wynyard.

5.2.3. 1900 -John Parker Architects

In 1899, John Parker Architects, designed a single-storey school building, adjacent to the Homestead situated on the same setback, with sandstone and plaster window surround detail and detached ablution facilities to the rear. The drawings were approved in 1900, with the earliest portion of the building completed in 1901. The school was named the Ellerslie Green and Sea Point School for Girls.

The Bungalow and Heatherbelle villas on the Main Road boundary existed on site before the construction of the Ellerslie Green and Sea Point School

for Girls, as indicated on the 1899 John Parker Architect site plan drawing (indicated in grey). The CoCT Historical Maps Collection 1903 survey indicates three other villas —Lyndale, Bellevue Villa, and Wynyard —and row houses, which were added to the easterly portion of the site with a new access road. Three villas at the rear of the Homestead between The Glen and Heathfield Road (Lucknon, Craiglands, and Egremont).

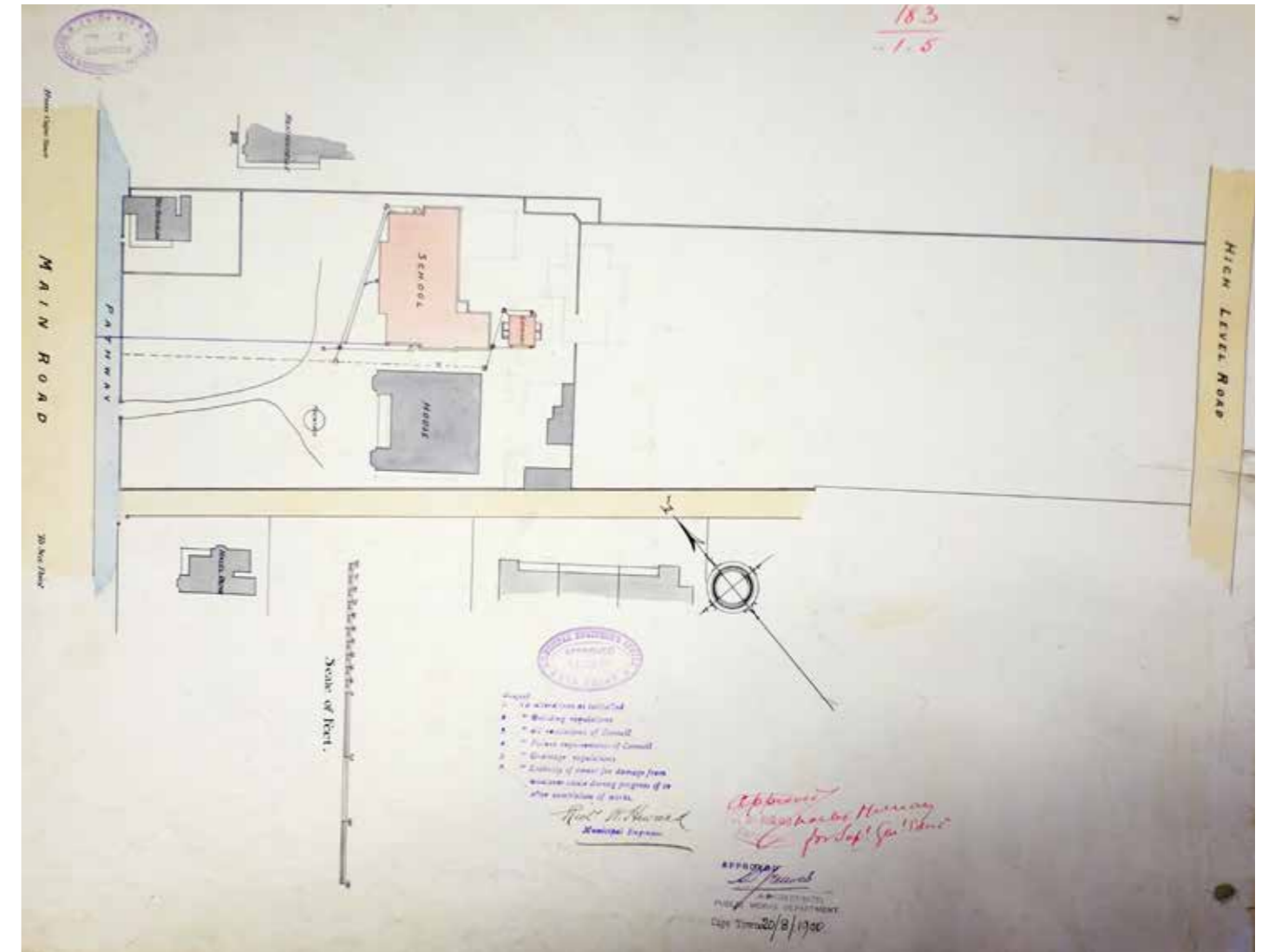


Figure 27. Ellerslie school site plan, Parker, 1900 (UCT Libraries, 2025)

The original school building (1901) and the Congregational and Methodist Churches (also by Parker) represent a specific phase in Sea Point's history. During that period, Sea Point had become a thriving residential area, with development facilitated and spurred on by the construction in 1901 of the interurban tramway link between Camps Bay, Sea Point, and Cape Town, running over Kloof Nek. A second railway line followed in 1905. Infrastructure such as roads, gas, and piped water was also extended across the area, further stimulating development, and the area became populated predominantly by white, middle-class citizens, who would travel from this 'dormitory' suburb to work in the city centre.

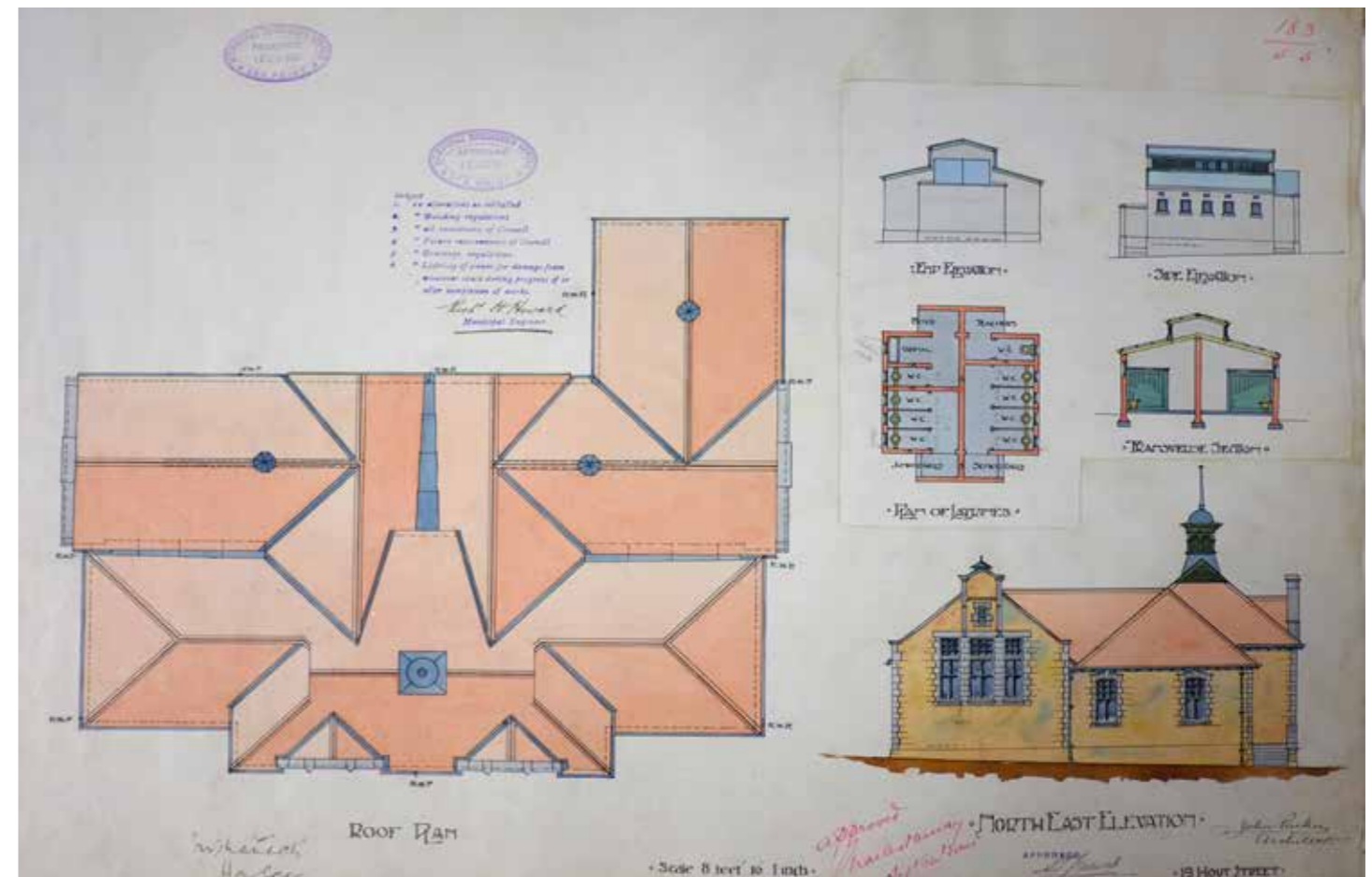
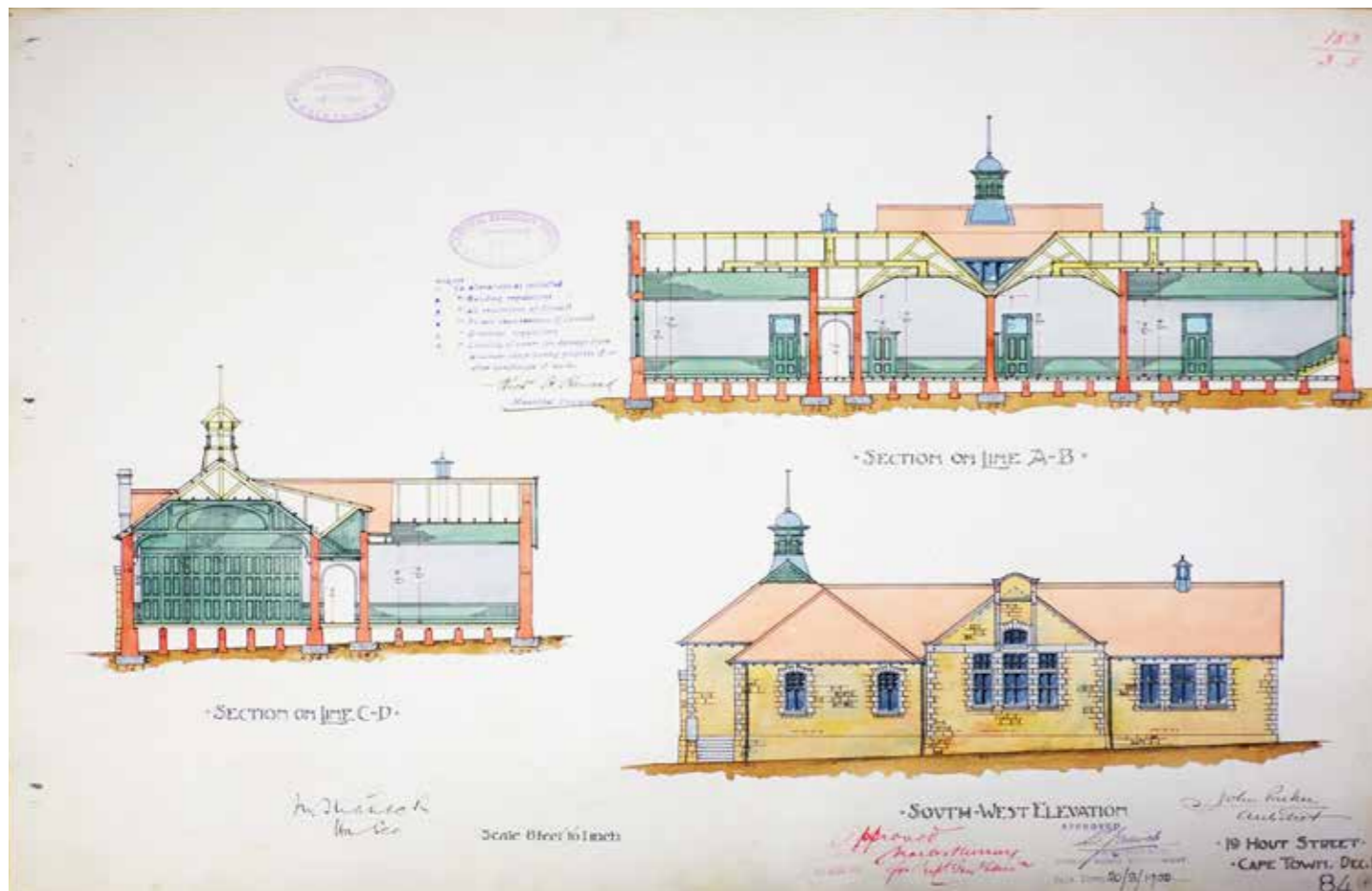
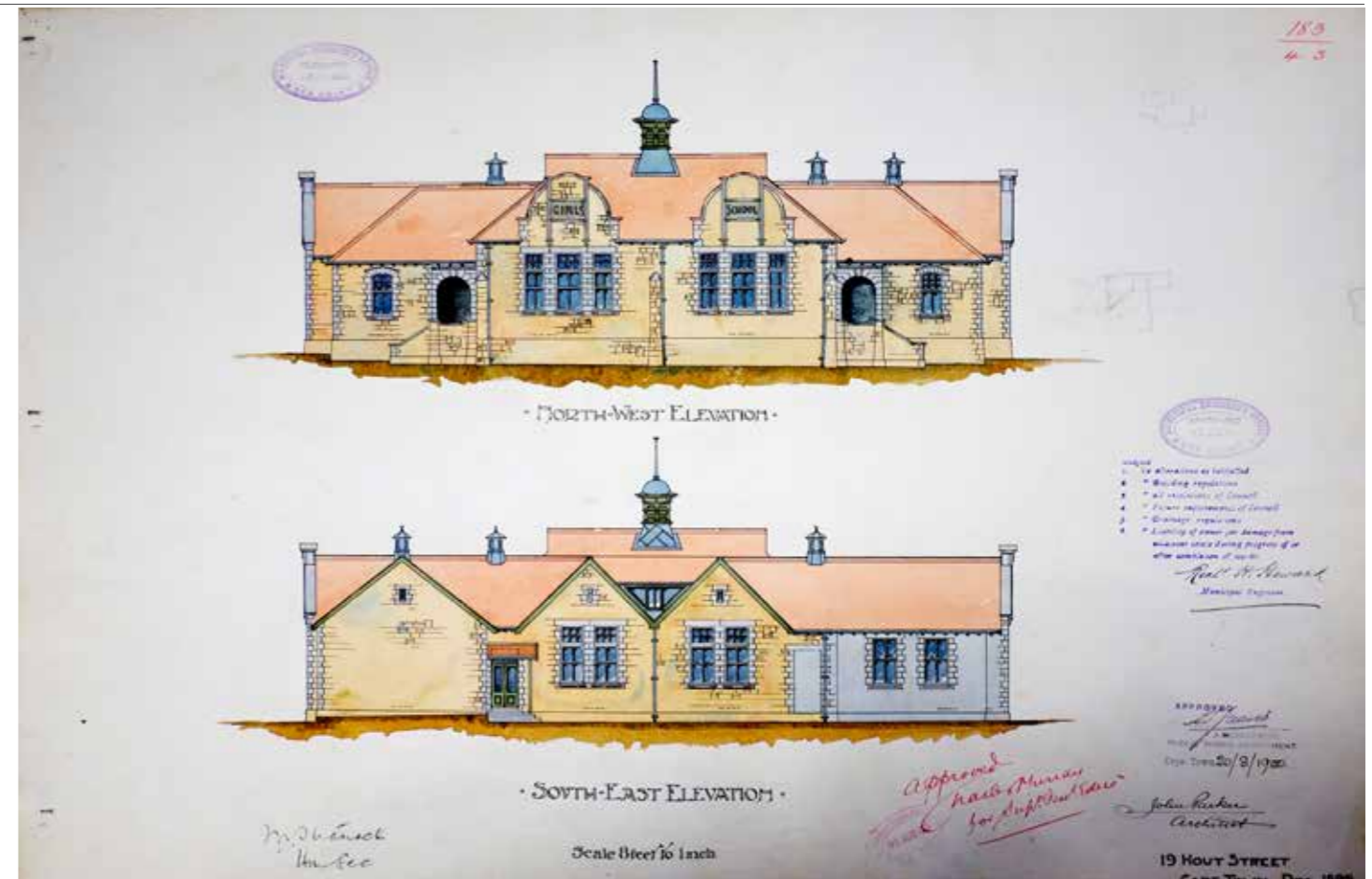
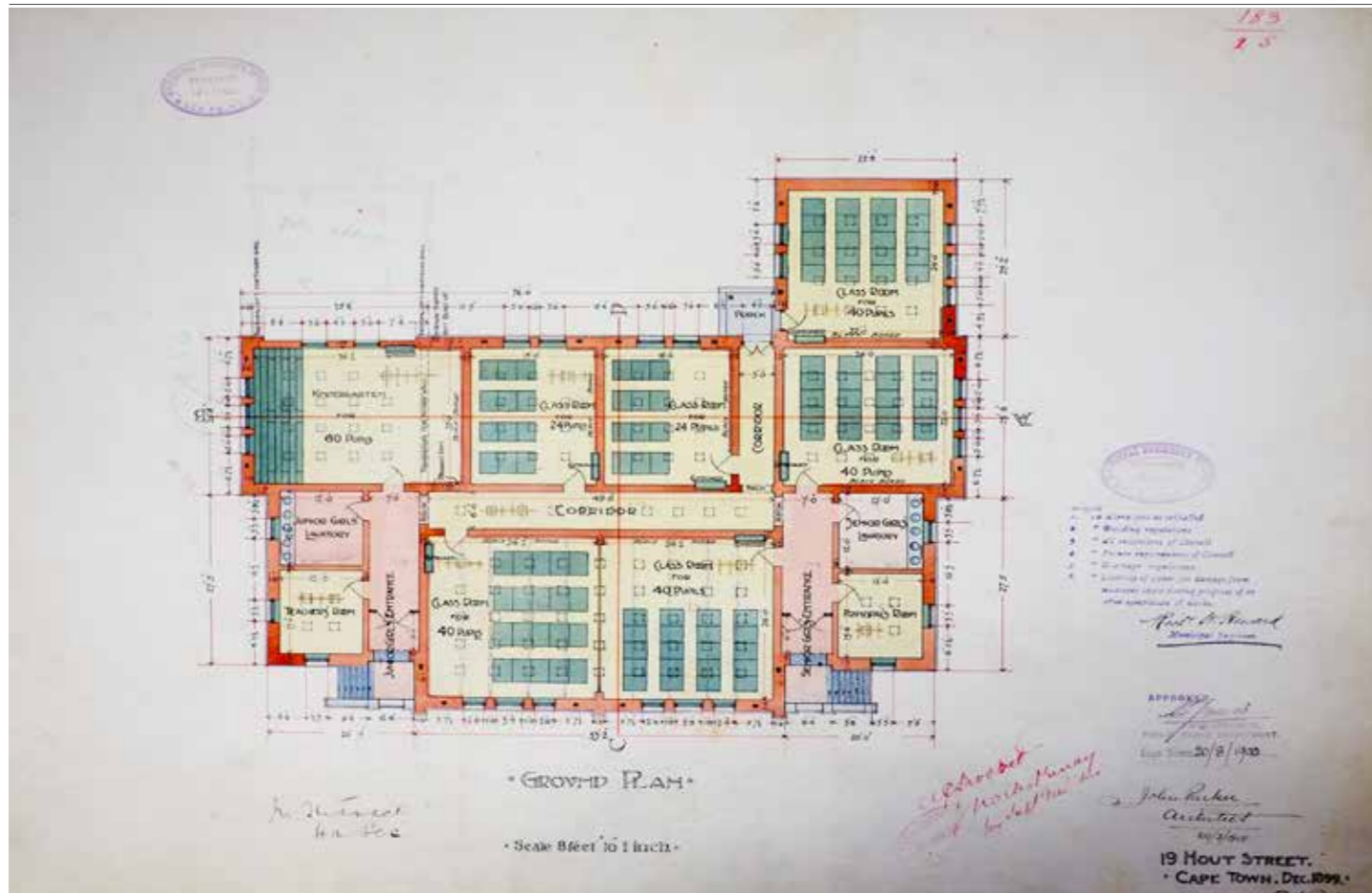
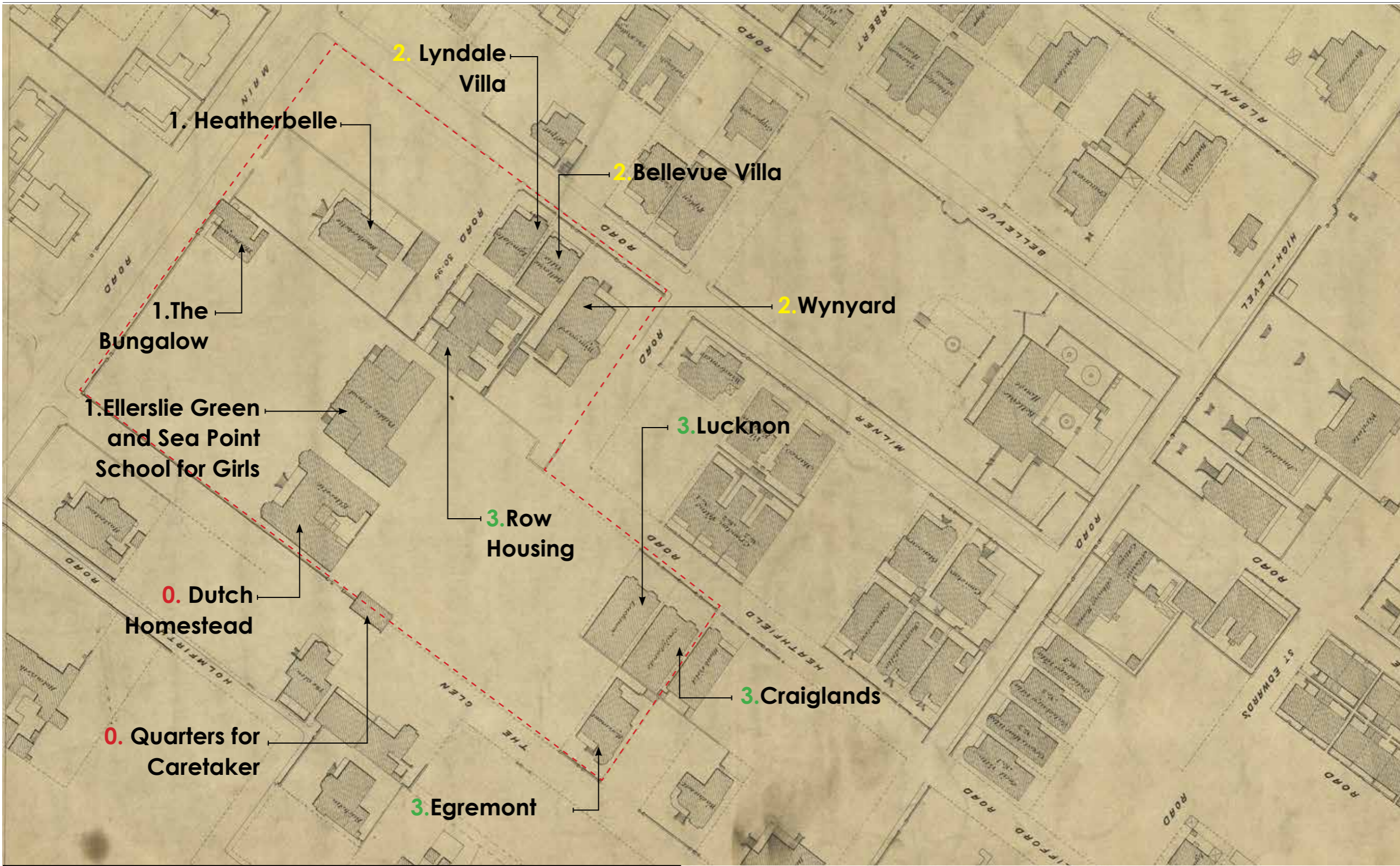


Figure 28. Ellerslie school plans and elevations, Parker, 1899-1900 (UCT Libraries, 2025)



Site Development 1900 - c1903			
KEY	[]	Site and boundary	
0.	19 th Century	Dutch Homestead Quarters for Caretaker	
1.	1901	Ellerslie Green and Sea Point School for Girls The Bungalow Heatherbelle	
2.	c.1902	Lyndale Villa Bellevue Villa Wynyard	3. c.1903 Row Housing Lucknon Craiglands Egremont

Figure 29. Ellerslie homestead with the Public School now built beside it and walled along Main Road and The Glen. Other buildings on site include the Bungalow, the 4 Villas and an attached row housing. (RSA, 2025b; after CoCT Historical Maps Collection 1903).

5.2.4. 1905 - William Black Architect



Figure 30. Hall and kindergarten (RSA, 2025; O'Donoghue, 2011 bottom right)

In 1905, architect William Black designed an extension to the rear of the Parker building, adding a kindergarten and hall. That same year, the Dutch Homestead was converted into a boarding house. In 1910, Ellerslie became a high school. The extension features a Table Mountain Sandstone façade, plastered and painted brick walls, interior timber detailing and joinery, and a slate tiled roof.

The building exemplifies Late Victorian Institutional Architecture with Art Nouveau influences, particularly in the parapet wall above the main entrance. The building is significant for its age, rarity, intact condition, and representational value to the Parker building. No historical layering is evident in the Kindergarten section.



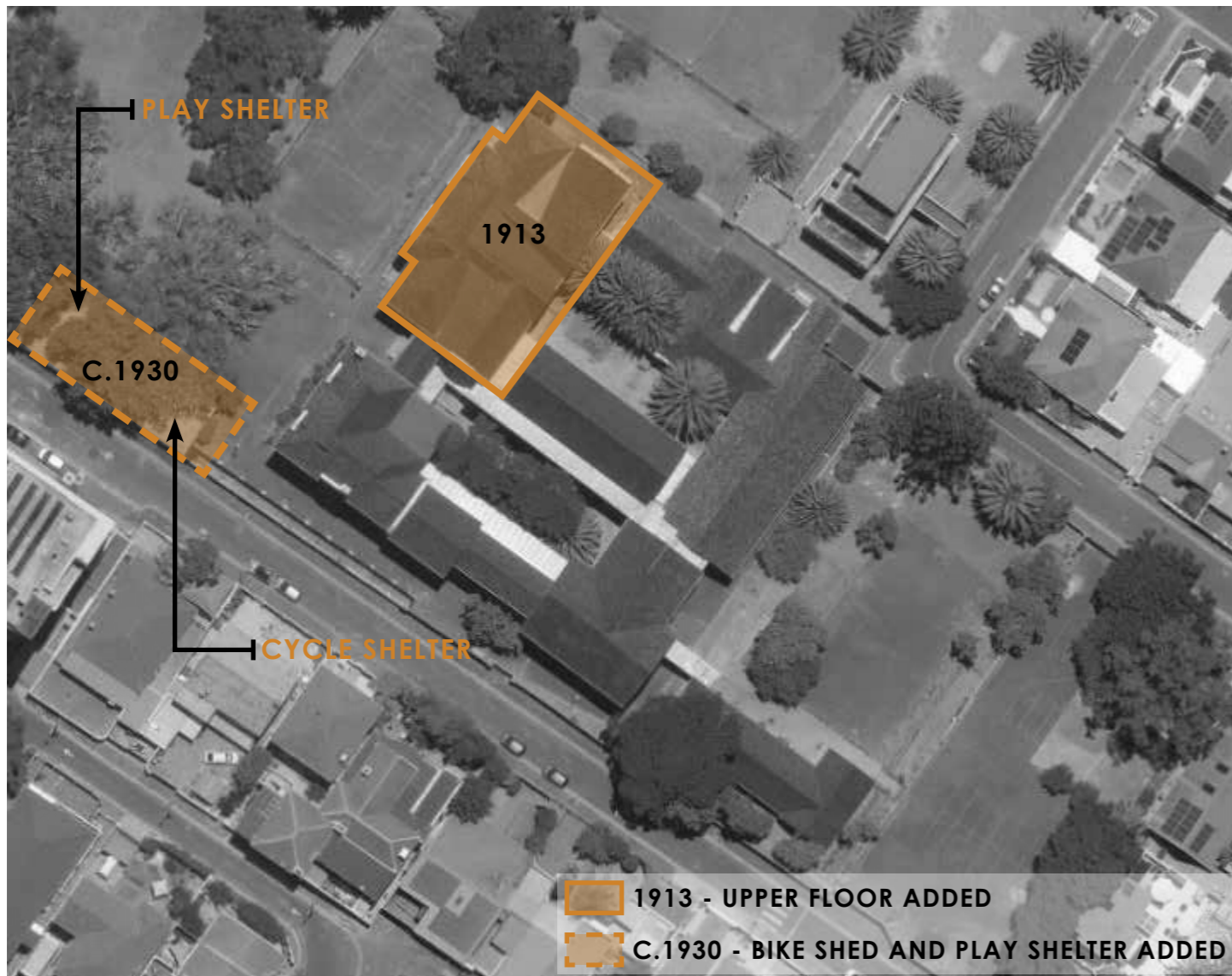


Figure 31. 1913 extensions and additions (RSA, 2023 and 2025)

William Black added the upper floor to the 1901 Parker school building in 1913. The additions accommodated rooms for art, needlework, cookery, and music. It also provided extra classrooms, staff rooms, and cloakrooms. The first-floor design preserved the original Parker features. Gablets and other elements were likely removed, set aside, and reused at a higher level. The completed façades appear cohesive, with no indication of separate construction phases. Noting that the buildings were not designed and built by a single designer at the same time.

The setback from Main Road provides a positive contribution to Sea Point Main Road and within the local residential context. The historic school buildings demonstrate a past design style that is intrinsically significant due to its age and architectural and aesthetic value, evidence of historical layering. During World War I, the school buildings were commandeered and converted into a hospital. Both the hall and classrooms served as wards. A pavilion structure for a bike shed and Play shelter was added c1930 along The Glen, between the boundary wall and the entrance driveway.



5.2.6. 1935 - Dutch Homestead demolished



The Dutch homestead was demolished in 1935, and a double-storey school building was extended to the right in 1936. This double-storey building was placed alongside the original school buildings, sensitively occupying the original homestead footprint and alignment, and finished with a Table Mountain Sandstone façade to harmonise with the original buildings. The new accommodation included staff rooms, a botany room, and a library. The main entrance for the school building was placed in the linking part between the original school building and the 1936 building extension. The site on which the building is located has archaeological sensitivity due to colonial-period archaeology (on the site of the original Dutch homestead).



Figure 32. 1935 extensions and alterations (RSA, 2023 and 2025; O'Donoghue, 2011 below)



5.2.7. 1939 - 1952



Figure 33. Mid-C20th alterations and extensions (RSA, 2023 and 2025)



In 1939, the 1905 school hall, designed by William Black as a kindergarten and hall, was enlarged to its present size. The extension continued the architectural style of the original 1905 building. In 1952, two classrooms were added next to The Glen. These classrooms were designed to match the 1936 building, with a consistent roofline and the use of Table Mountain Sandstone, limited to the quoins. These additions demonstrate institutional design that contributes contextual value to the school complex and mark the first expansion after World War 2.

5.2.8. Wynyard Mansions c.1951



The building is carefully designed with details that include a deep shadow gap beneath the raised plinth, an elegantly shaped concrete bridge with a repeating theme of “porthole” openings, and other details. The street-level floor is accessed off Herbert Road by the concrete bridge. Lowerstreet level apartments are accessed from the north/rear via catwalks and a central staircase. Flats include studio, 1 and 2 roomed, some with south/mountain facing balconies. Interior parquet tile and vinyl tile flooring, timber windows and doors (some broken), and fire damage to part of the first floor.



Figure 34. Wynyard Mansions (RSA, 2023 and 2025)

Wynyard Mansions was designed in the early 1950s and first appears in the 1953 City of Cape Town aerial imagery. The building was acquired by the school in 1974, along with a neighbouring villa called ‘Wynyard’, which has since been demolished and is now a brownfield site to the north of Milner Road. The 12 flats were rented as social housing, with the last tenant evicted in 2014; since then, the property has gradually become derelict.

The design is a Modernist four-storey apartment building cut into the sloped site, with a stepped-back top level. The form steps down to the historic site along its western boundary. The structure is a concrete-framed building with plastered brick infill; facebrick on the front/Herbert road façade.



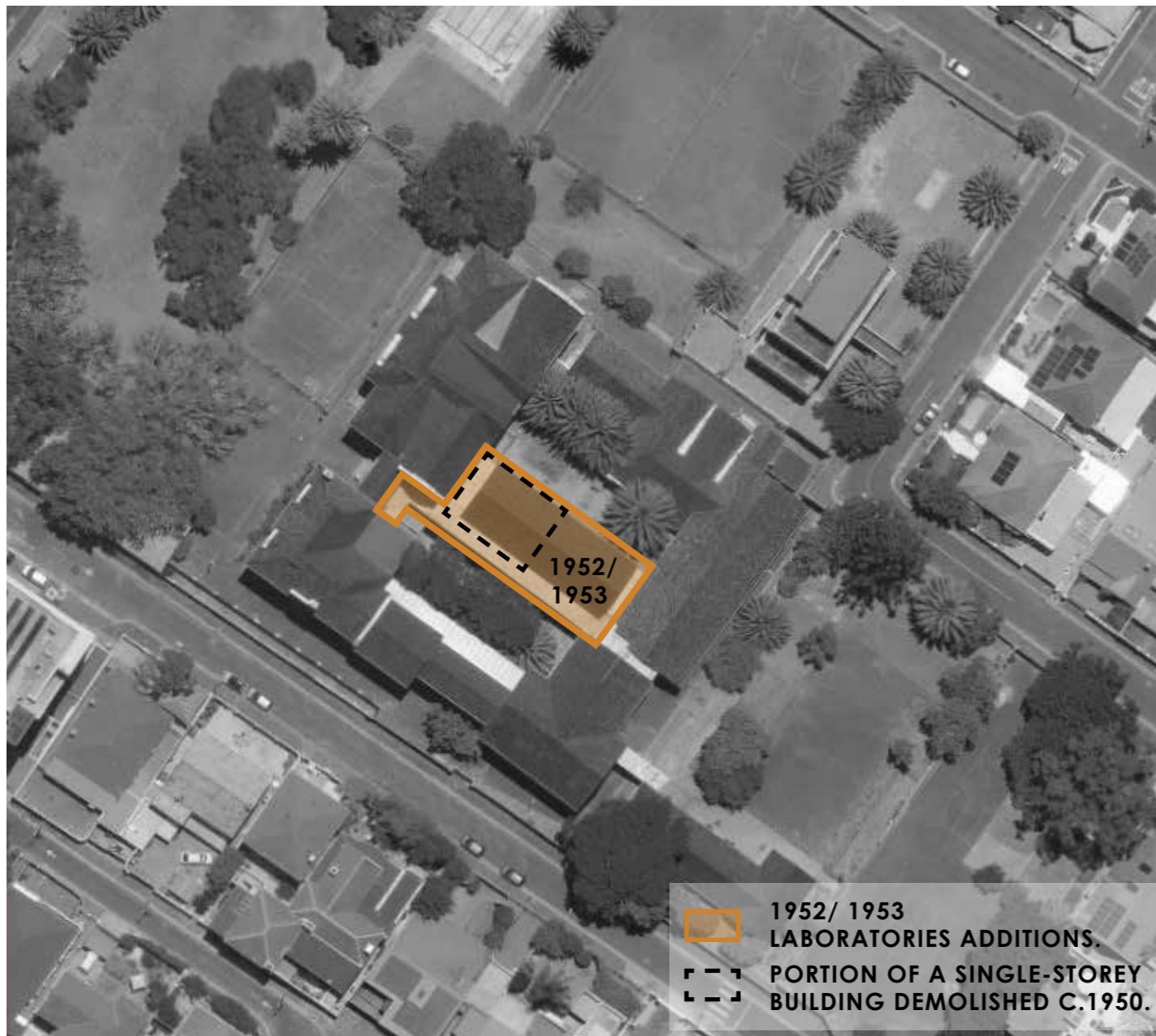


Figure 35. Black and Fagg laboratories (RSA, 2023; O'Donoghue, 2011 below)

In 1952, laboratories designed by Black and Fagg Architects were constructed to replace a building previously located in the center of the courtyard. The building first appears in the 1953 City of Cape Town aerial imagery. The earlier structure, in the center of the courtyard, situated at the rear of the original 1901 and 1936 buildings between the east and west Courtyards Building, was demolished in the c1950 to make way for the Black and Fagg building. The mid-20th-century institutional school building is influenced by the original buildings in terms of roofscape, materials, rhythm of openings, slate-tiled pitched roof, timber fenestration, and stone plinth. Attached to the southwest elevation is a concrete lean-to roof. The building represents the increase in the school's building complex, the second additional building after World War 2. The school building demonstrates an institutional design that has little contextual value to the school complex, according to O'Donoghue (2011).



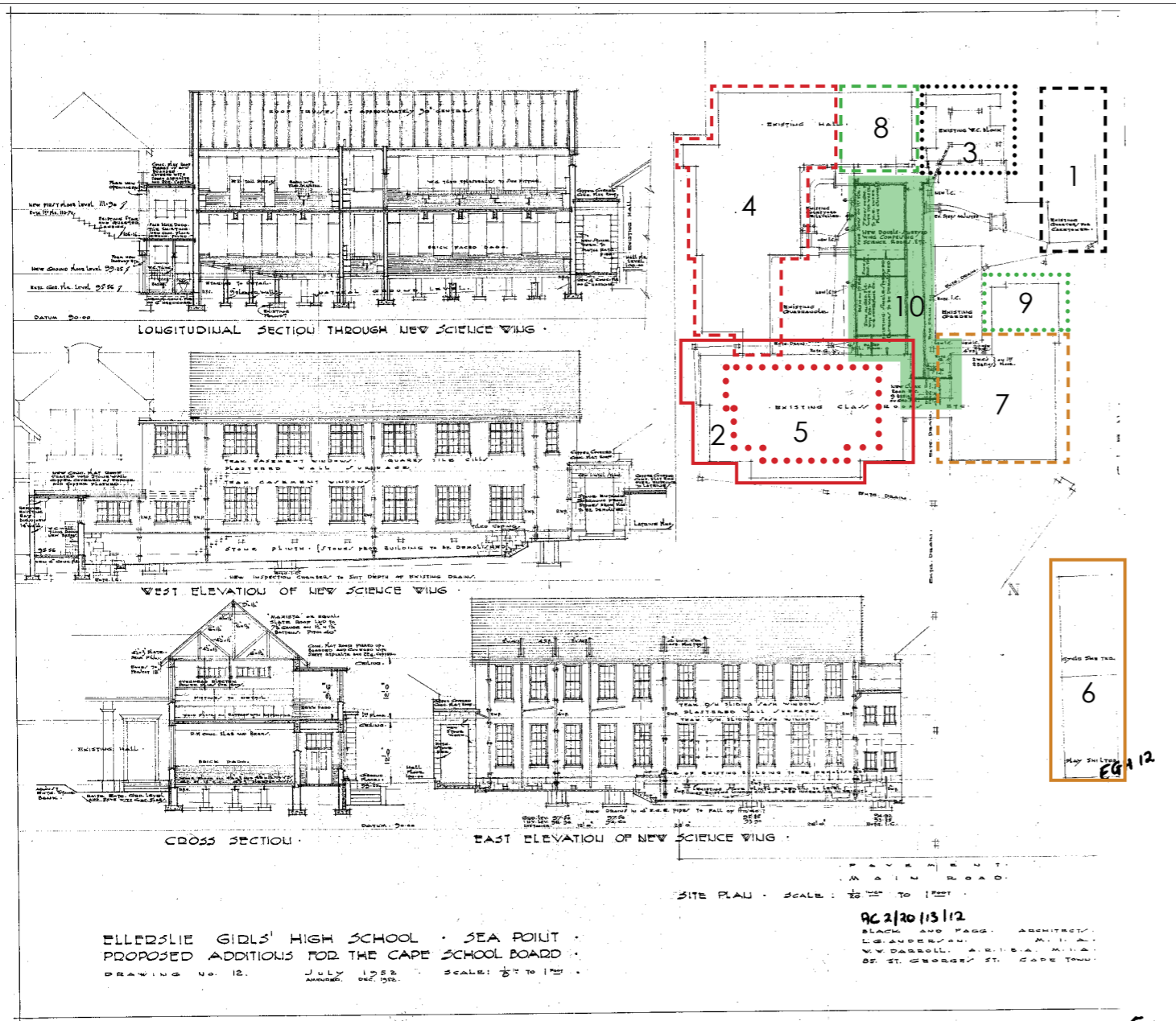
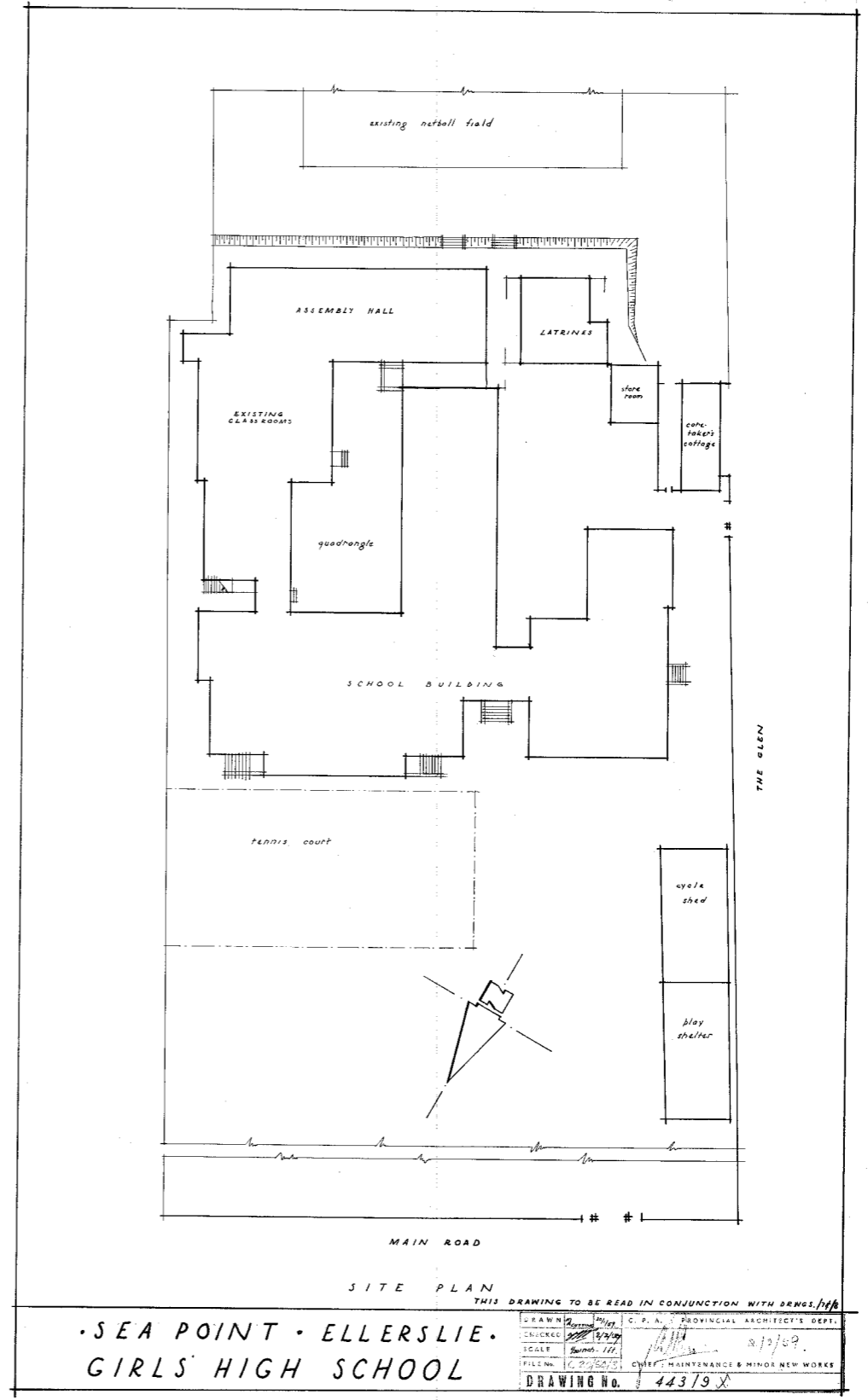
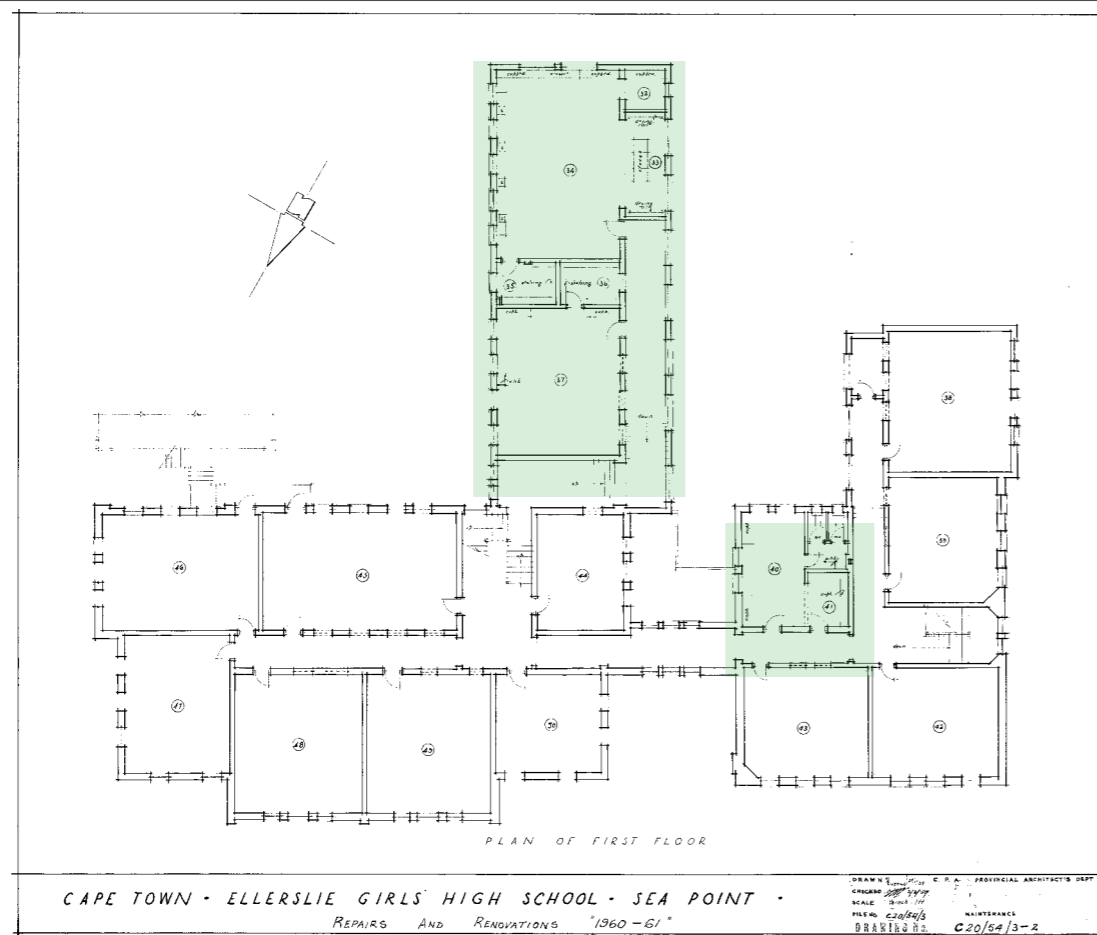


Figure 36. Ellerslie Girls High School Sea Point Proposed Additions for The Cape School Board 1952, N.T.S., Black and Fagg Architects (WCG Archive, 2023)

5.2.10. 1959 / 1960s - Cape Provincial Architects Department
 Repairs and Renovations took place on the first floor of the school building; the work was undertaken by the Cape Provincial Architects Department. From the architect's drawings, it appears that the repairs and renovations took place in the 1952 first-floor laboratories building and the cloakroom in the 1936 double-storey school building, occupying the original homestead footprint.



SITE DEVELOPMENT 1900 - 1954			
1	19 th c Quarters for Caretaker dating back to the 19th century	6	c1930 Cycle Shelter and Play Shelter
2	1901 Ellerslie Green and Sea Point School for Girls. John Parker Architect	7	1936 Double-storey school building on original Homestead footprint
3	1901 Latrines maybe associated with the 1901 design by John Parker	8	1939 Kindergarten and hall extended
4	1905 Extension to the rear of the Parker building. William Black Architects + Parker and Forsyth, More information required	9	1952 Two classrooms added at the rear of 1936 structure
5	1913 Upper floor added to the Parker building. William Black Architects	10	1954 New Double Storey Wing Comprising Science Room and Laboratories etc. Black and Fagg Architects

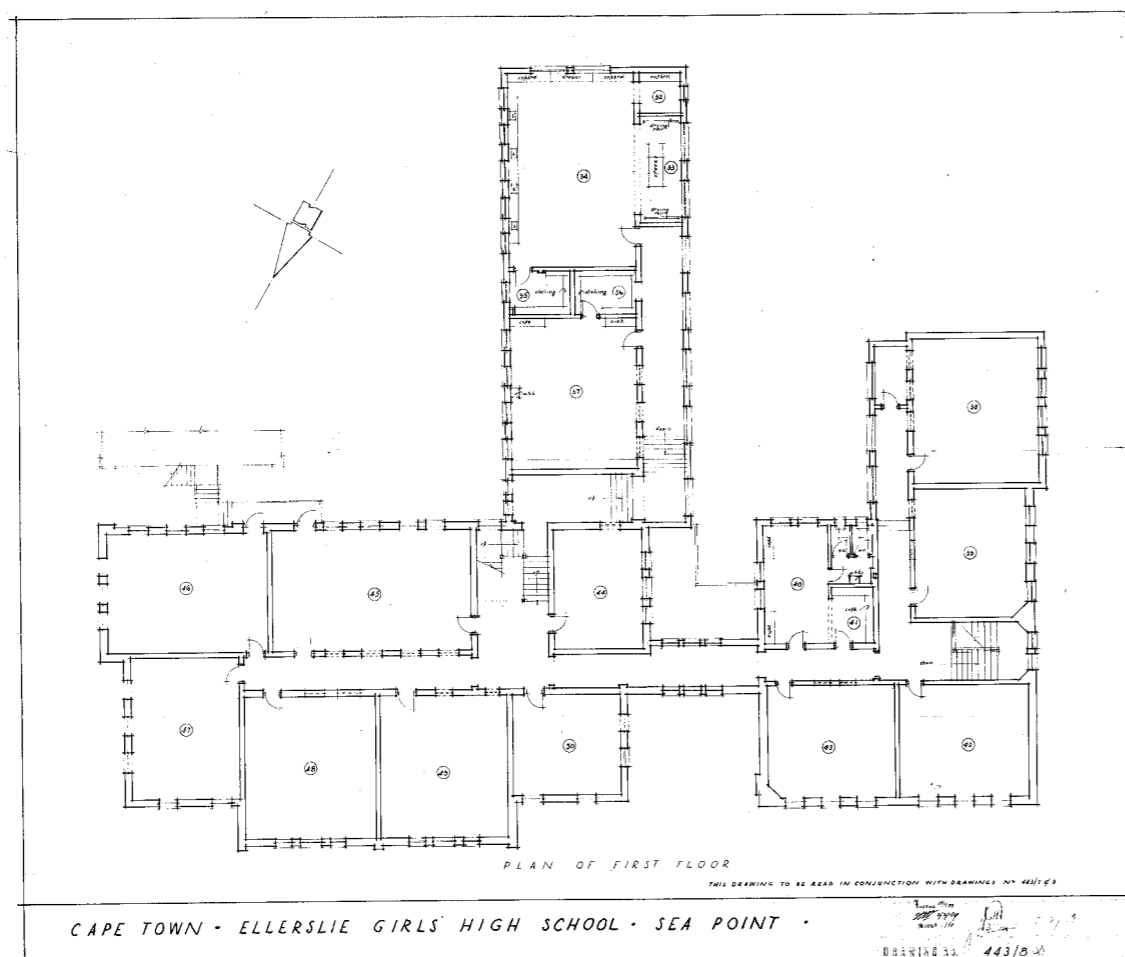


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Figure 37. Plans of 1959 additions and alterations, Black and Fagg Architects (WCG Archive, 2023)



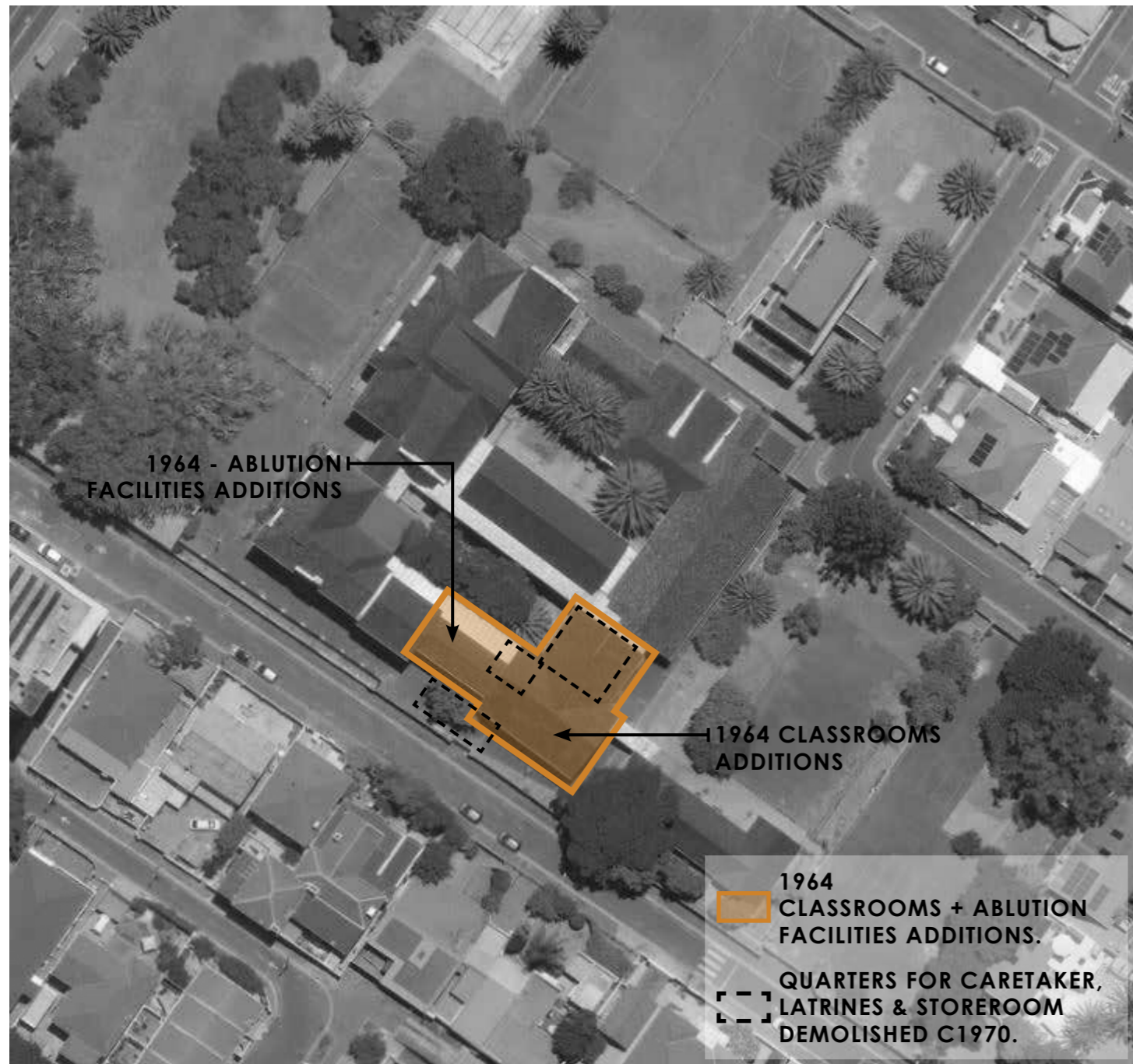
Figure 38. Interiors (O'Donoghue, 2011)



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In 1964, Black & Fagg added further classrooms adjacent to the Hall extension (1939). They also added ablution facilities connected to the 1952 classrooms adjacent to The Glen, creating an enclosed courtyard. The additions are situated on a site of archaeological sensitivity, relating to colonial-period archaeology and structures demolished c.1970. The buildings include the Caretaker's Quarters and the storeroom, which date back to the 19th century. The 1901 ablution facilities by John Parker appear to be part of the demolished structures.

The additions adjacent to the Hall demonstrate an institutional design with local contextual value to the school complex, a roofscape in context with the older portion on site, and a minor stone plinth. The buildings represent the increase in the school's building complex, the third additional building after World War 2. The Ablution facilities additions have no Architectural Significance, although the building is contextual to the adjoining school buildings in the scale, roofscape, and rhythm of openings. The facade on the Glen is completely facebrick. According to O'Donoghue (2011), the junctions between the older portions of the school and the 1964 additions are Insensitive.

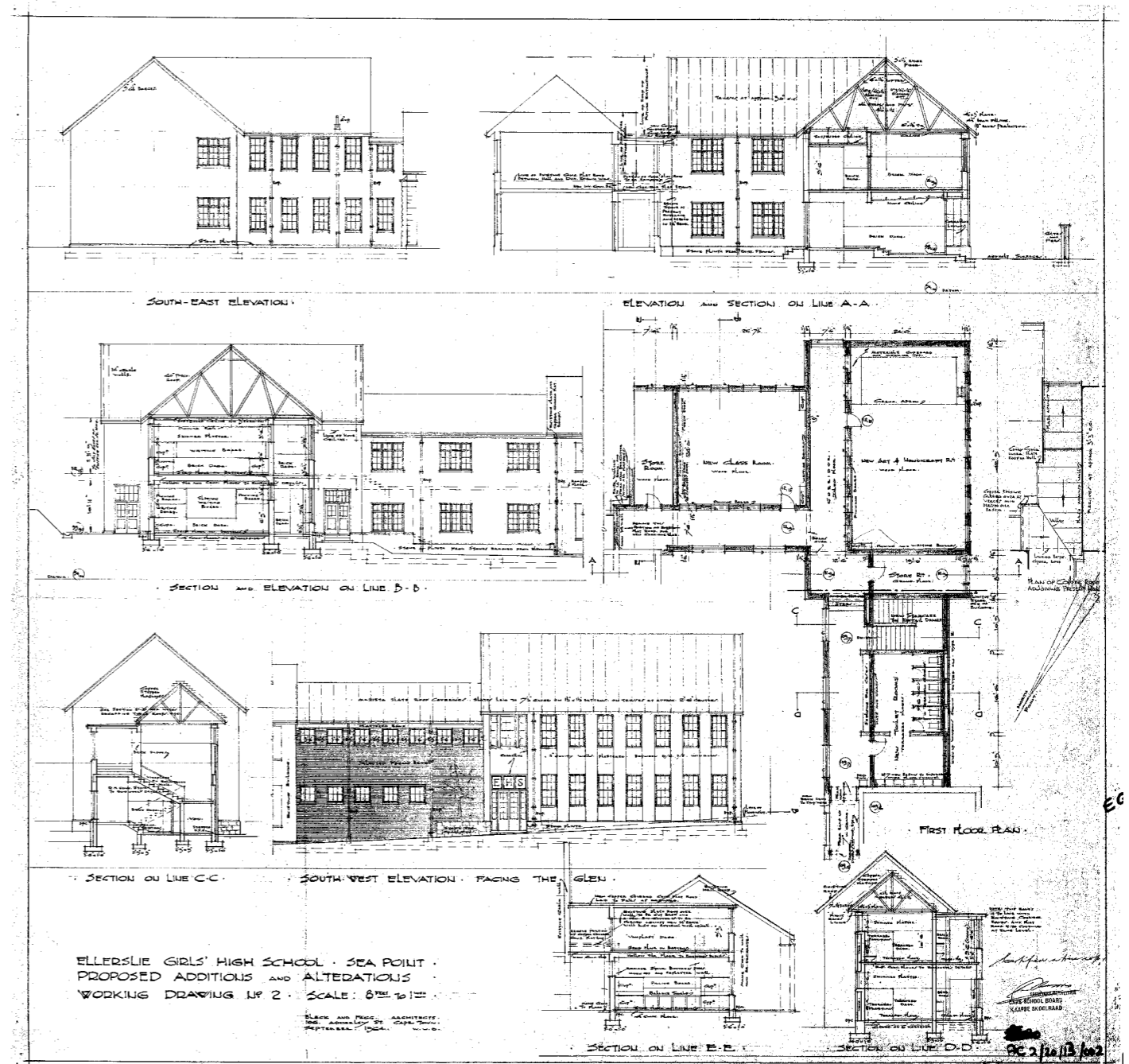


Figure 39. Proposed 1964 additions, Black and Fagg Architects (WCG Archive, 2023)

5.2.12. 1964_Black & Fagg (Music Rooms)



1964 Proposed Additions and alterations to the upper southern portion of the school site			
	The original intended position of the Music Room.		Unrealised Store Rooms.
	Unrealised future music room.		1964 Music and Choir Building additions.

In addition to the classrooms and ablution facilities, Black & Fagg also designed the Music building on the rear end of the hall and classrooms, which used to be the Netball and Tennis Court. The building has no architectural significance, and its scale is low compared to those along The Glen. The southeast facade of the classroom building is connected to the music building by a concrete-covered walkway leading to the music building's entry portico.

Figure 40. Music Rooms (RSA, 2025; O'Donoghue, 2011 above and below right)



According to the architectural drawings, the building's original position was along Heathfield Road. The building was rectangular rather than T-shaped. Proposed additions alongside the Music building included a sports equipment store and a garden tools store, with a WC and shower along The Glen. The plan also indicated the intended location of a future music room, marked with dashed lines next to the existing music room along Heathfield Road.

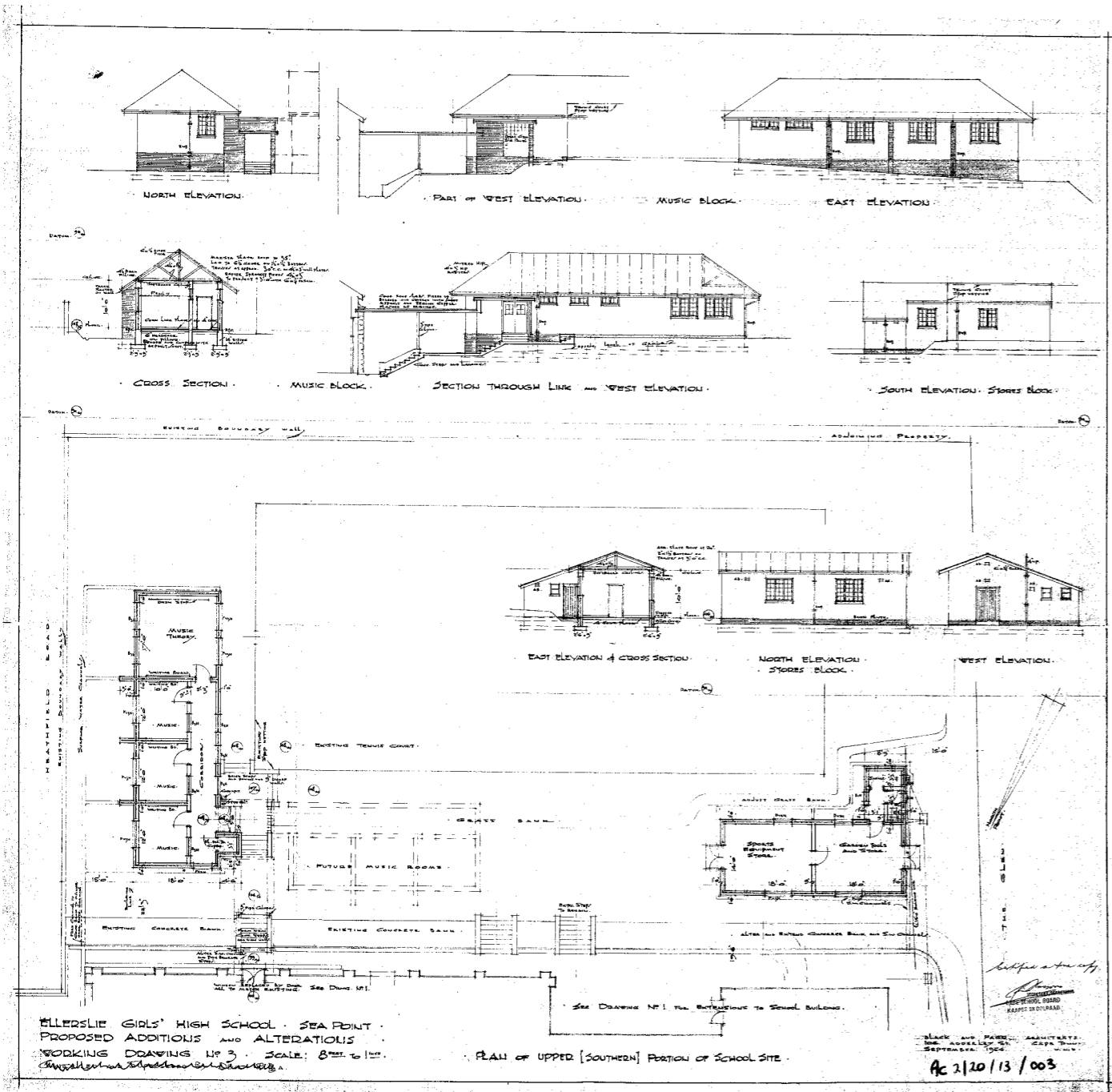


Figure 41. Music Room elevations, Black and Fagg Architects , 1964 (WCG Archive, 2023)

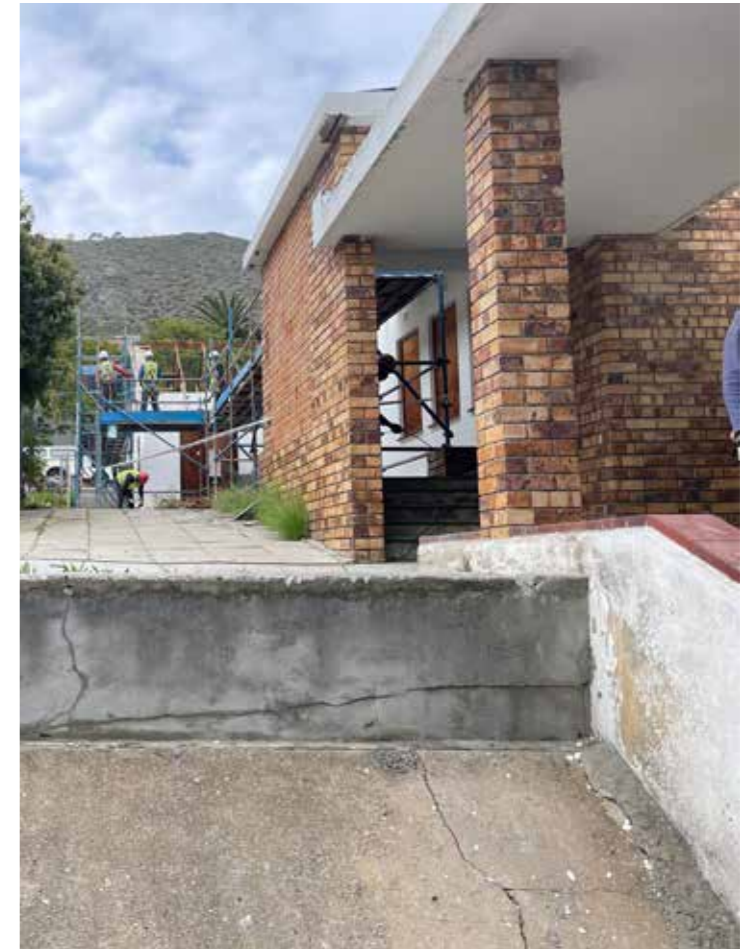
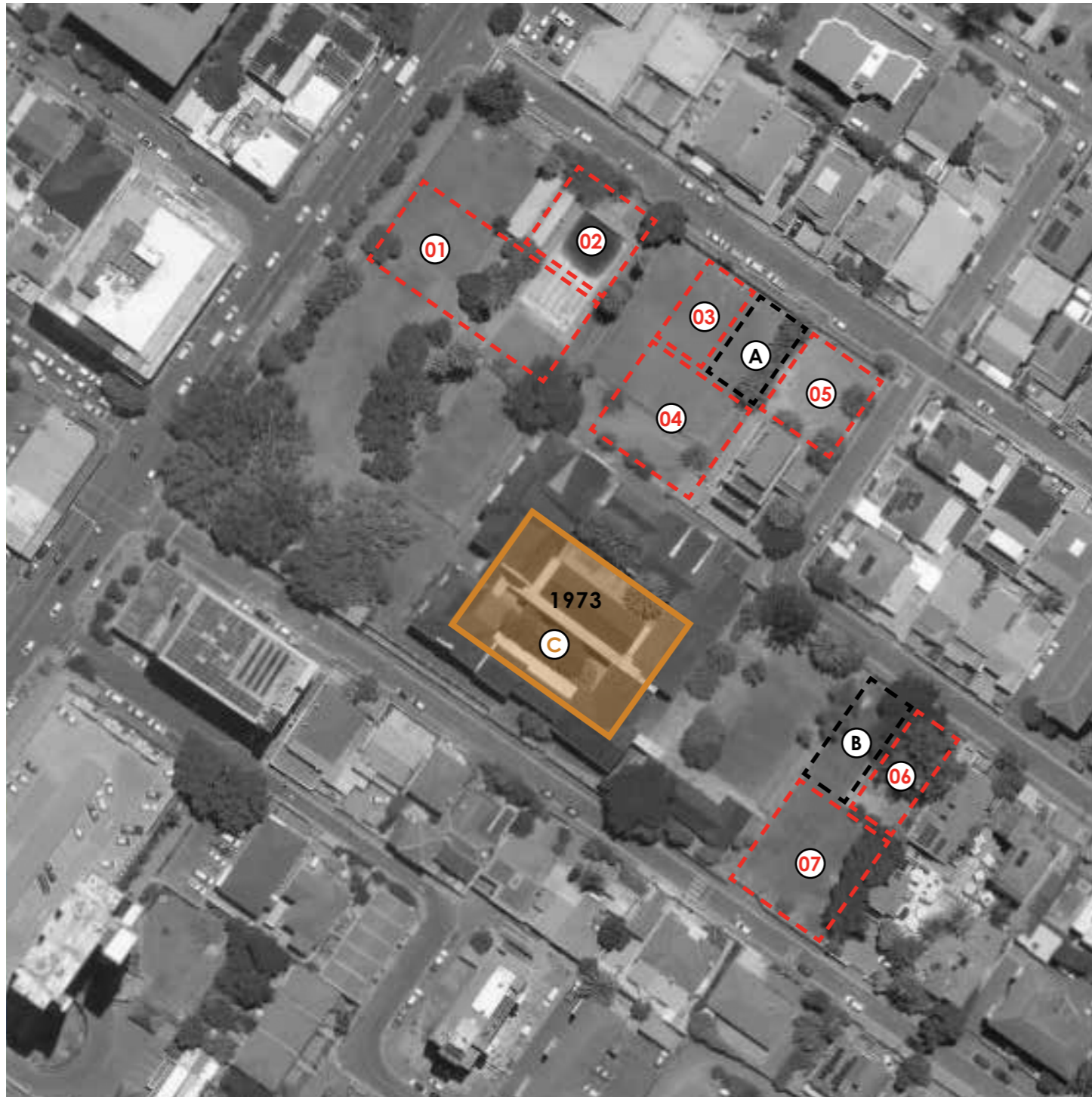
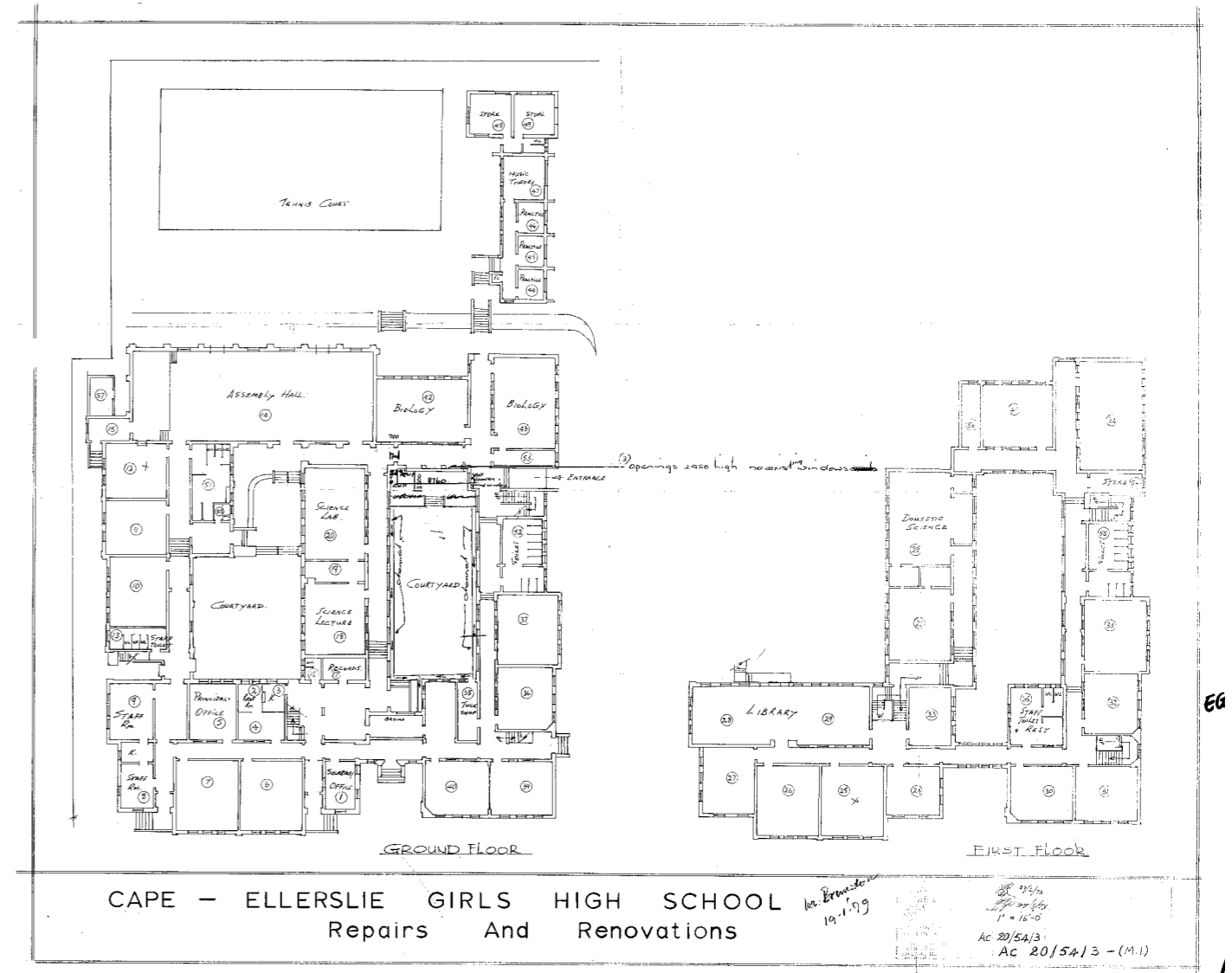


Figure 42. Music Rooms (RSA, 2023 and 2025)



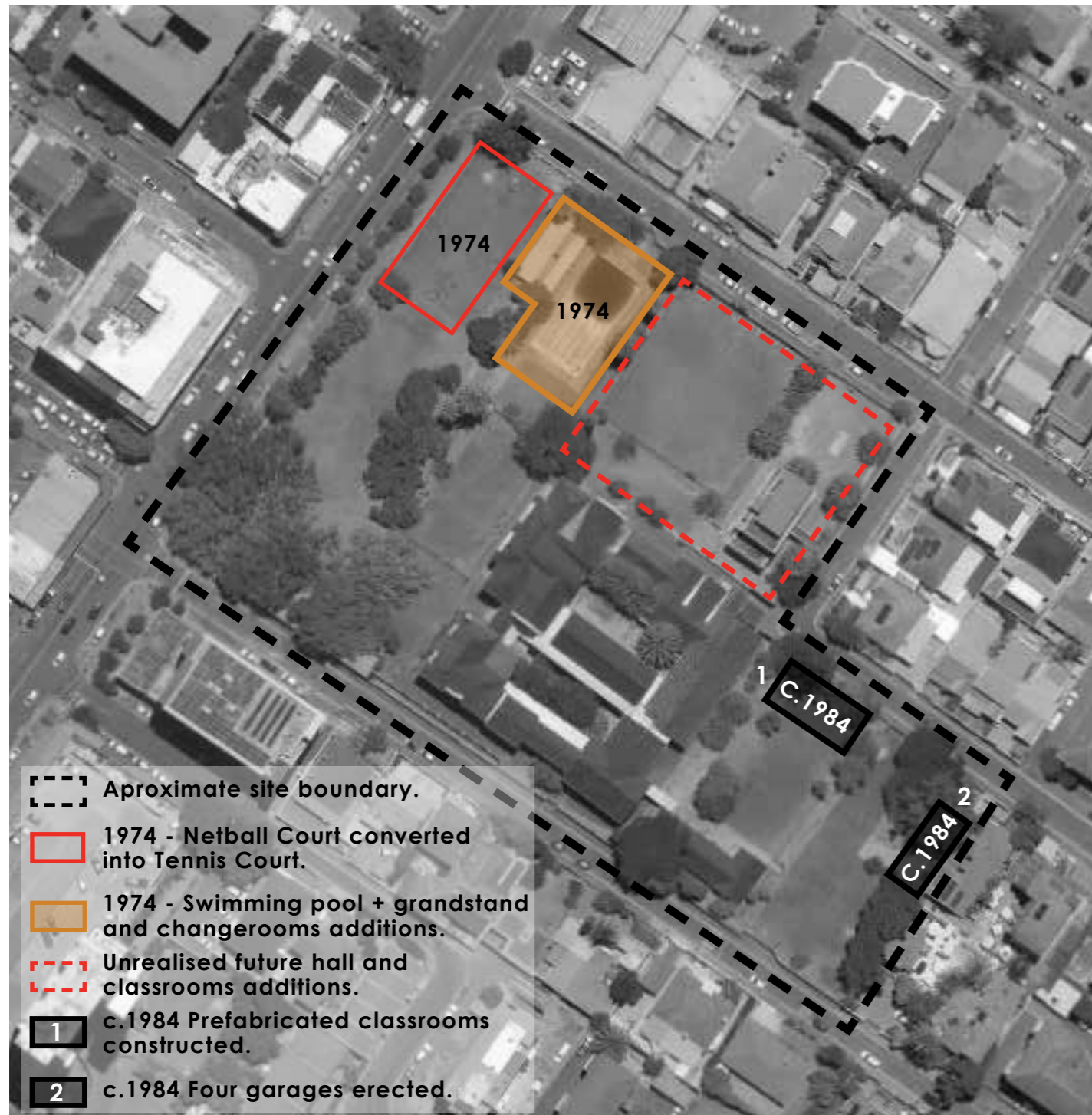


Over time, the school acquired the adjoining houses on Ellerslie Road. It also purchased 'Heatherbelle' on Main Road. These properties were initially used for staff accommodation. They were demolished between 1973 and 1980 to create space for new sporting facilities, including courts and a swimming pool. Three villas behind the music building and site were also demolished during this period. During this time, the Cape Provincial Architects Department carried out repairs and renovations to the main school building.



1973 REPAIRS + RENOVATIONS AND DEMOLITIONS		
Heatherbelle demolished c1973	Lyndale Villa demolished c1973	Wynyard demolished c1973
Demolished c1973	Row Housing demolished c1973	Craiglands demolished c1973
Egremont demolished c1973	Bellevue Villa demolished c1980	Lucknon demolished c1980
1973 repairs and renovations.		

Figure 43. 1970s site plan, Cape Provincial Architects Department c.1973 (WCG Archive, 2023)

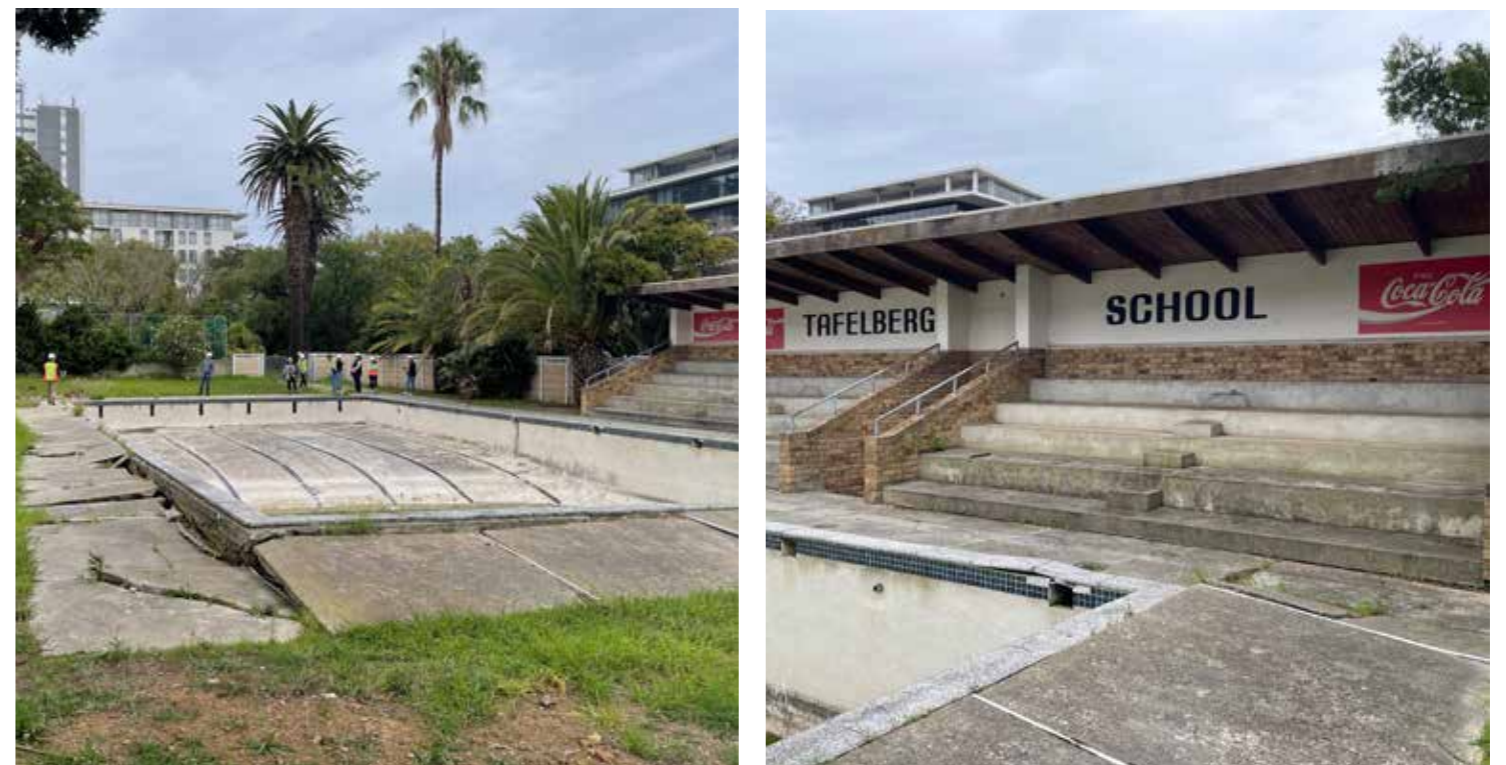


In 1974, six erfes, which used to house Bellevue Villa, Lyndale Villa, Wynyard the Row Housing, and Wynyard Mansions, as well as Eilerslie Avenue, were earmarked for a future hall and additional classrooms. The proposal did not materialise. In 1974, a swimming pool with a grandstand and changerooms was added to the school's sporting facilities. The additions have no architectural value or contribution to the streetscape. The Netball Court northwest of the pool grandstand and changerooms was converted into a tennis court.

In c.1984, four garages were erected on the southeast far end of the site, as storage rooms for sporting equipment and prefabricated classrooms situated on Heathfield Road. These additions have no architectural value or contributing value to the building complex. Tafelberg, a Department of Education school for remedial children, established a high school on the site in January 1990.



Figure 44. Sports facilities (RSA, 2023 and 2025)



5.2.15. 21st Century

Tafelberg High School moved from the site in 2010 to Bothasig. Since January 2010, only the apartment building has been occupied; the school buildings have been vacated and boarded up. Wynyard Mansions remained occupied by social housing tenants until their relocation in 2014, since which time it has been vacant. The remainder of the open space behind and alongside the main school building is given to sports courts, now in a neglected condition. Three of the four garages were demolished in c.2010, with the prefabricated classrooms demolished /removed c.2022. In April 2023, the public works department undertook subsequent maintenance work.

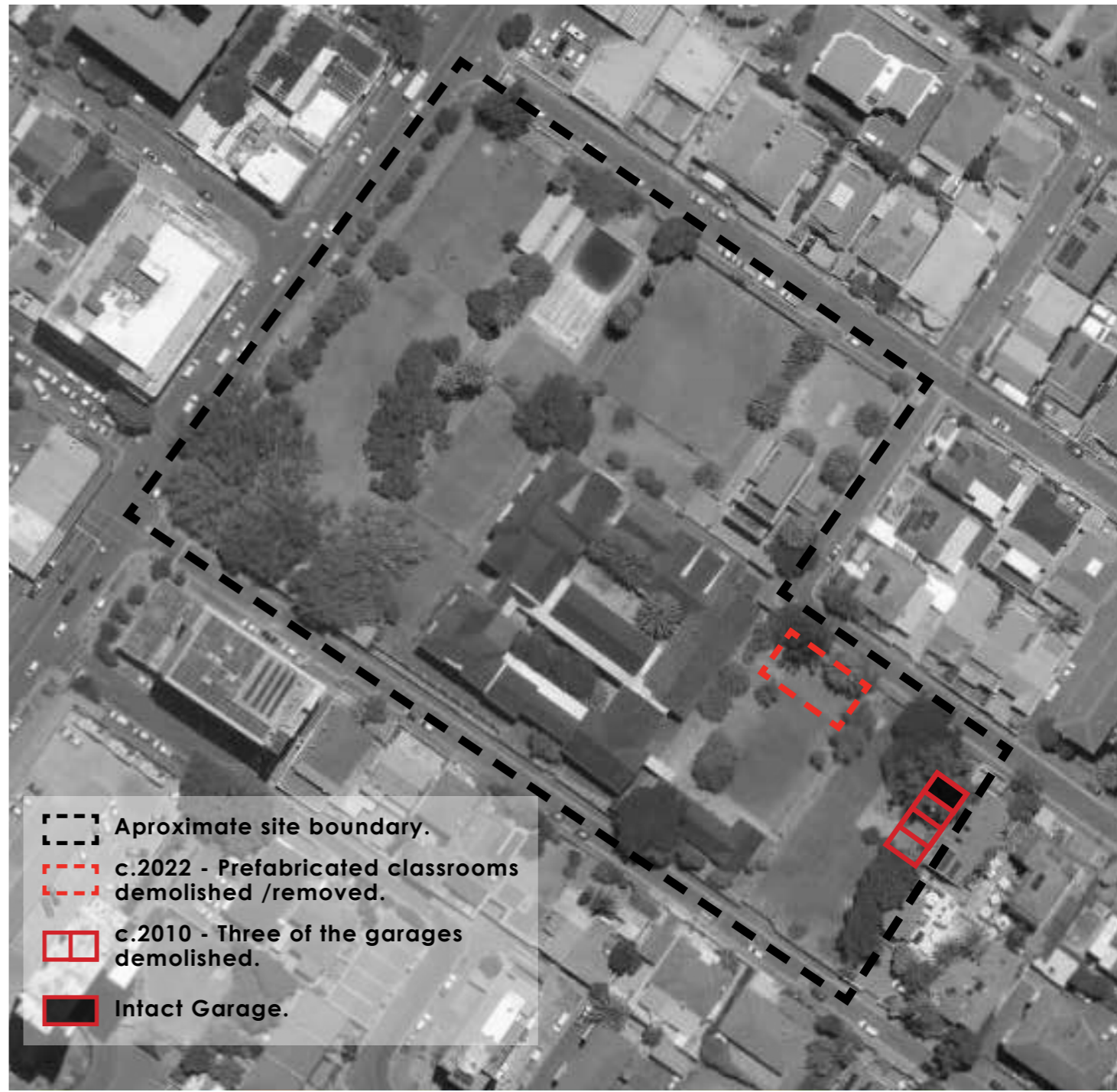
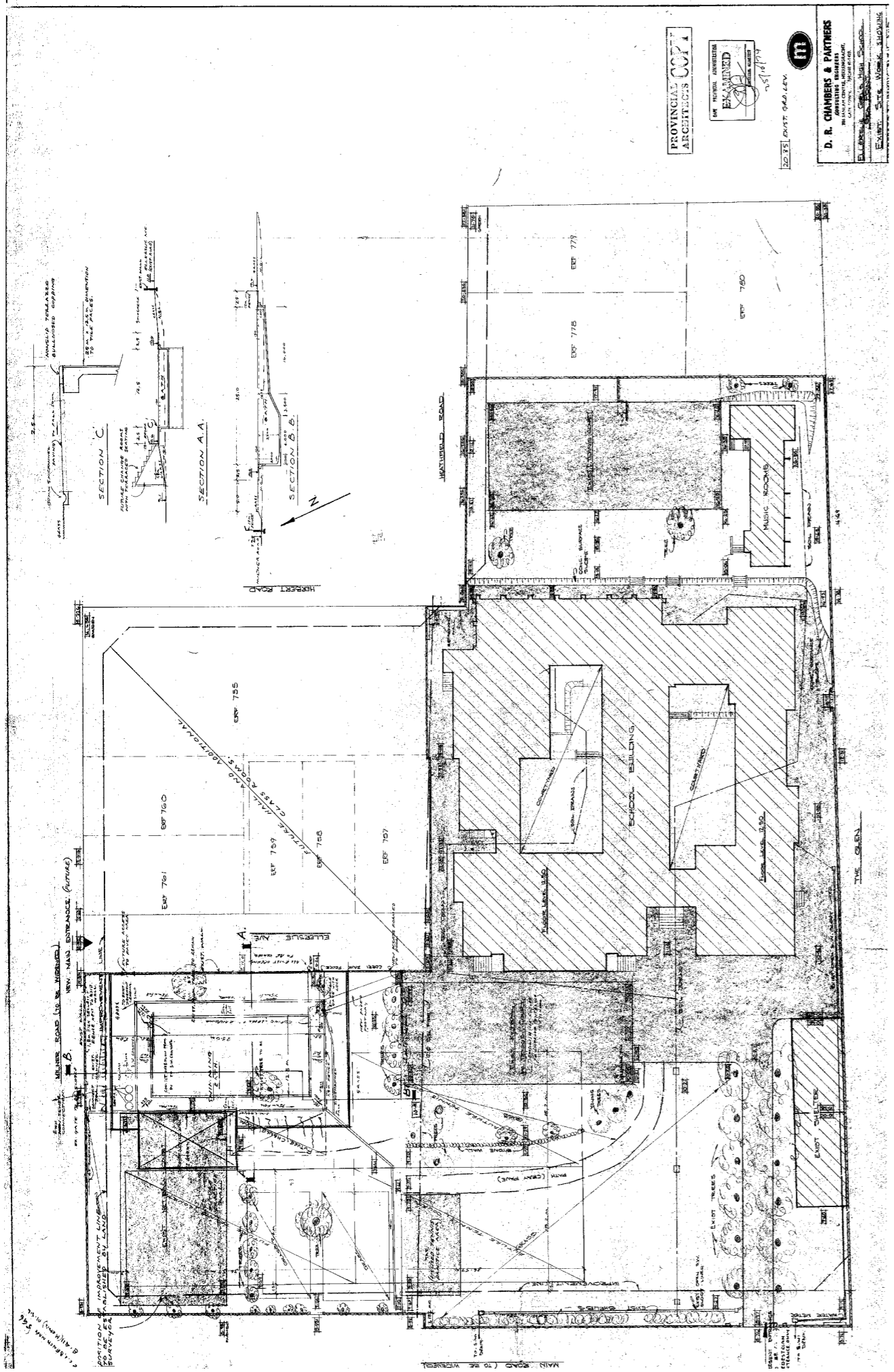


Figure 45. PWD site plan, 1974 (WCG Archive, 2023)



Figure 46. Site survey 2022 (SATMAP, 2022)



Figure 47. C21st site interventions (RSA, 2023 and 2025)

5.2.16. Composite Diagrammatic Representation of The Site Development

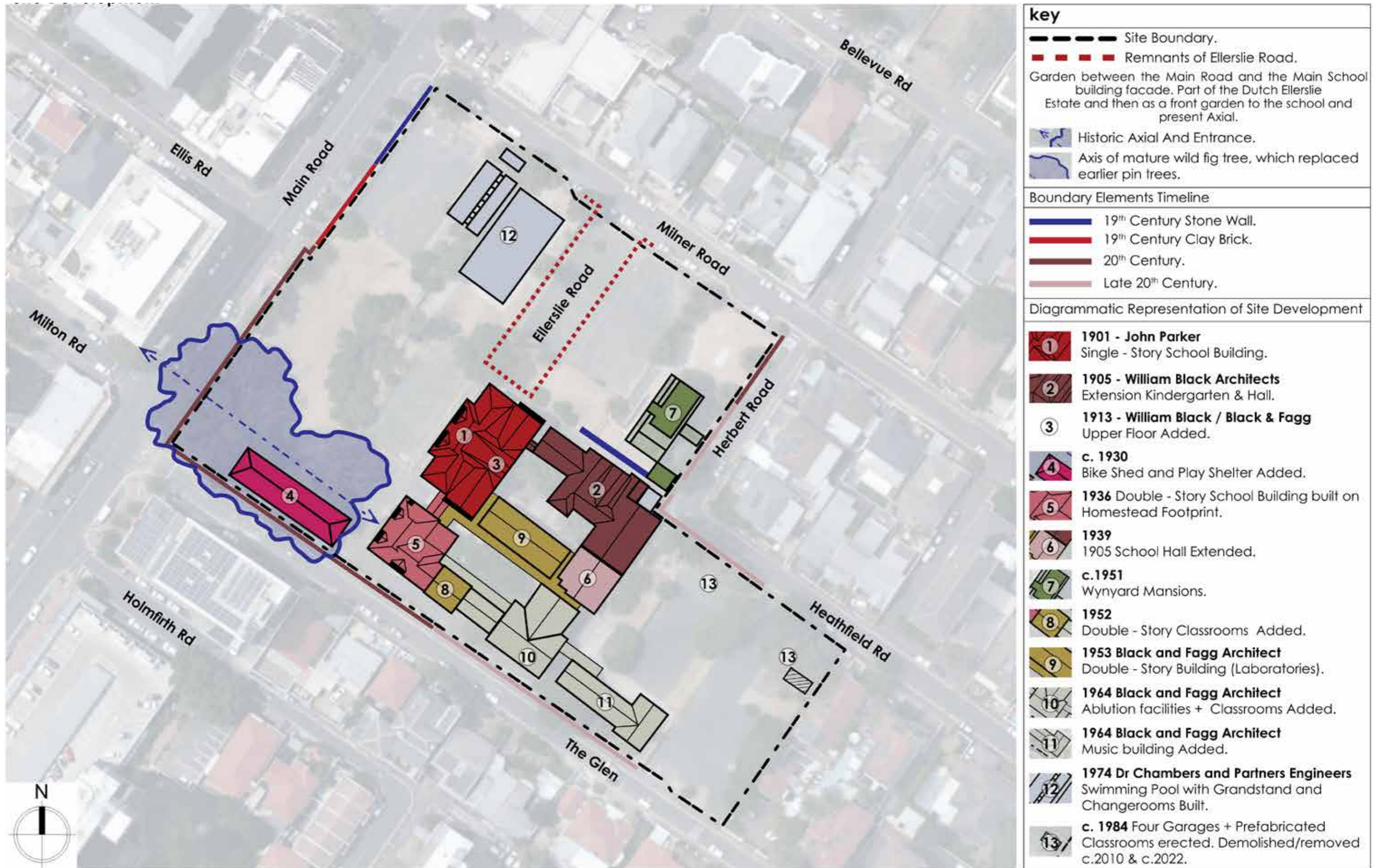


Figure 48. Historical Development Chronology Diagram of the building 1860s to c.1970s (RSA, 2025b after O'Donoghue 2011)

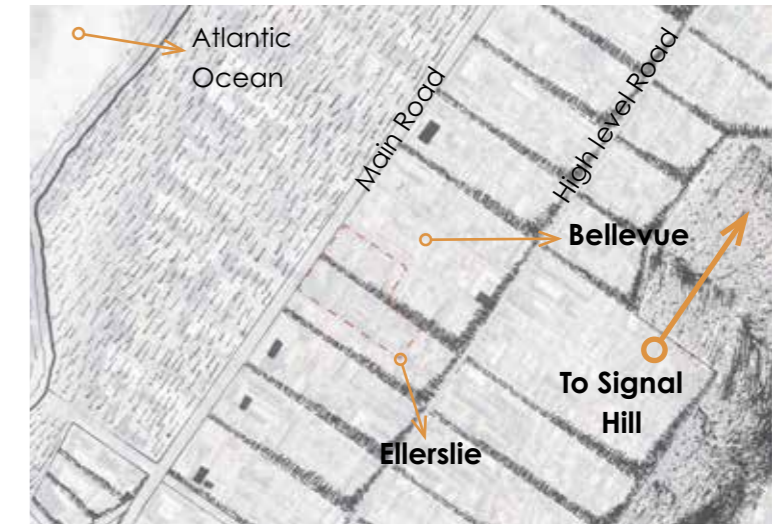
5.3. Contextual Analysis

5.3.1. Historic grain and pattern (1966-1966)



Figure 49. Historic Grain and Pattern Analysis of Ellerslie/Tafelberg site complex & environ 1944 -1966 (RSA, 2025b, after CoCT 480 Series Historical Maps).

The historic spatial pattern (1944 - 1966) of the site and environ is composed of a 'Lynchian fine grain' with unitary diversity. The spatial pattern developed from the early 1818 with long rectangular plots extending from Main Road through and above High Level Road, composed of a coarse-grain, characterised by homesteads with productive lands.



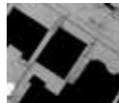
RSA (2025) Elemans Map shows boundaries of lots, with a structure on Lot 27. Site outlined in red. (CoCT EGSViewer, 2023)



RSA (2025) 1860 Snow Survey shows the site developed with a large homestead, outbuildings and a central axial arrival that corresponds with the existing driveway off Main Road. Site outlined red. (CoCT EGSViewer, 2023)

KEY

--- Site and boundary

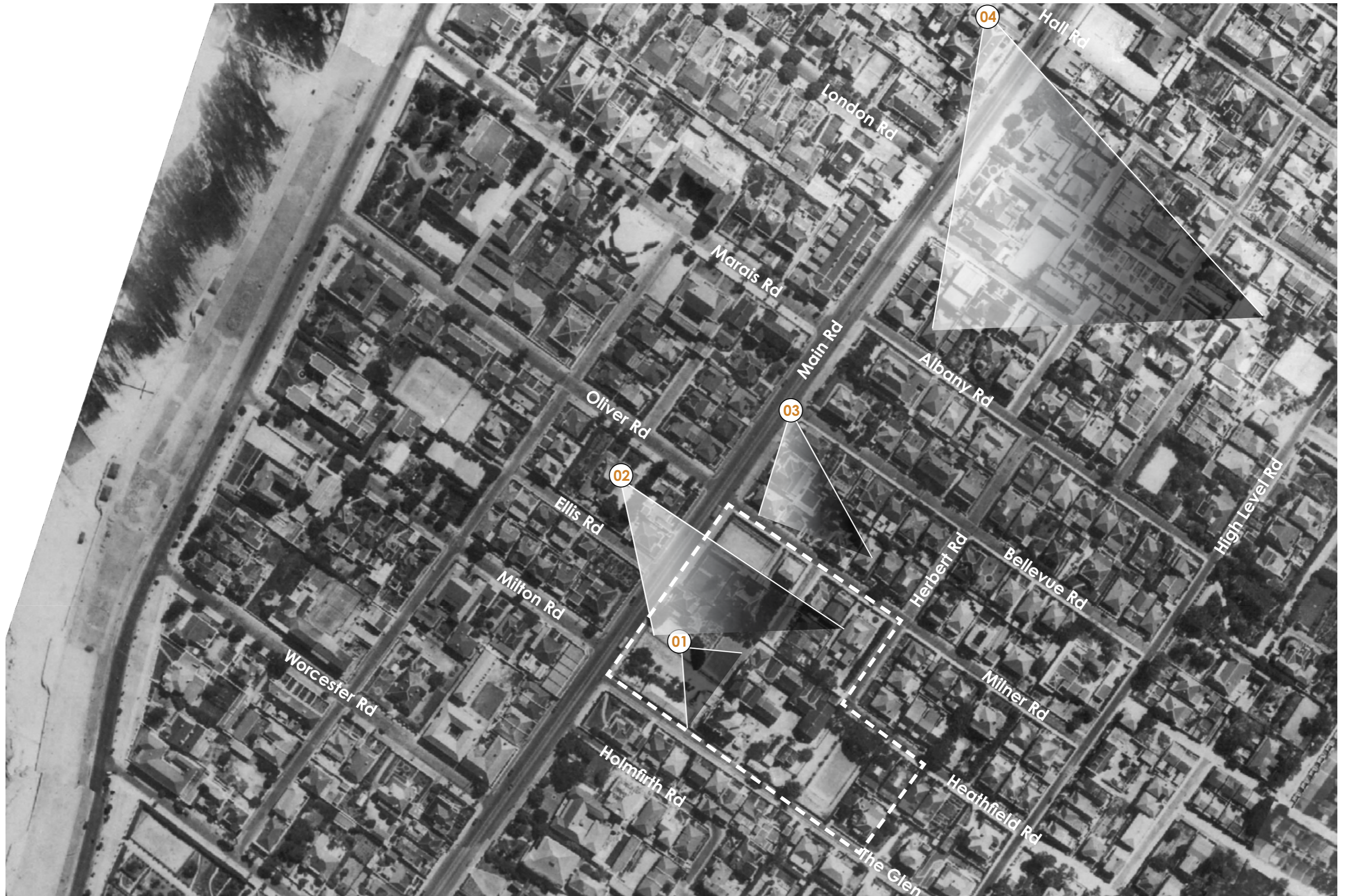
 Urban grain

5.3.2. Architecture and Urban Character (1944 - 1966)



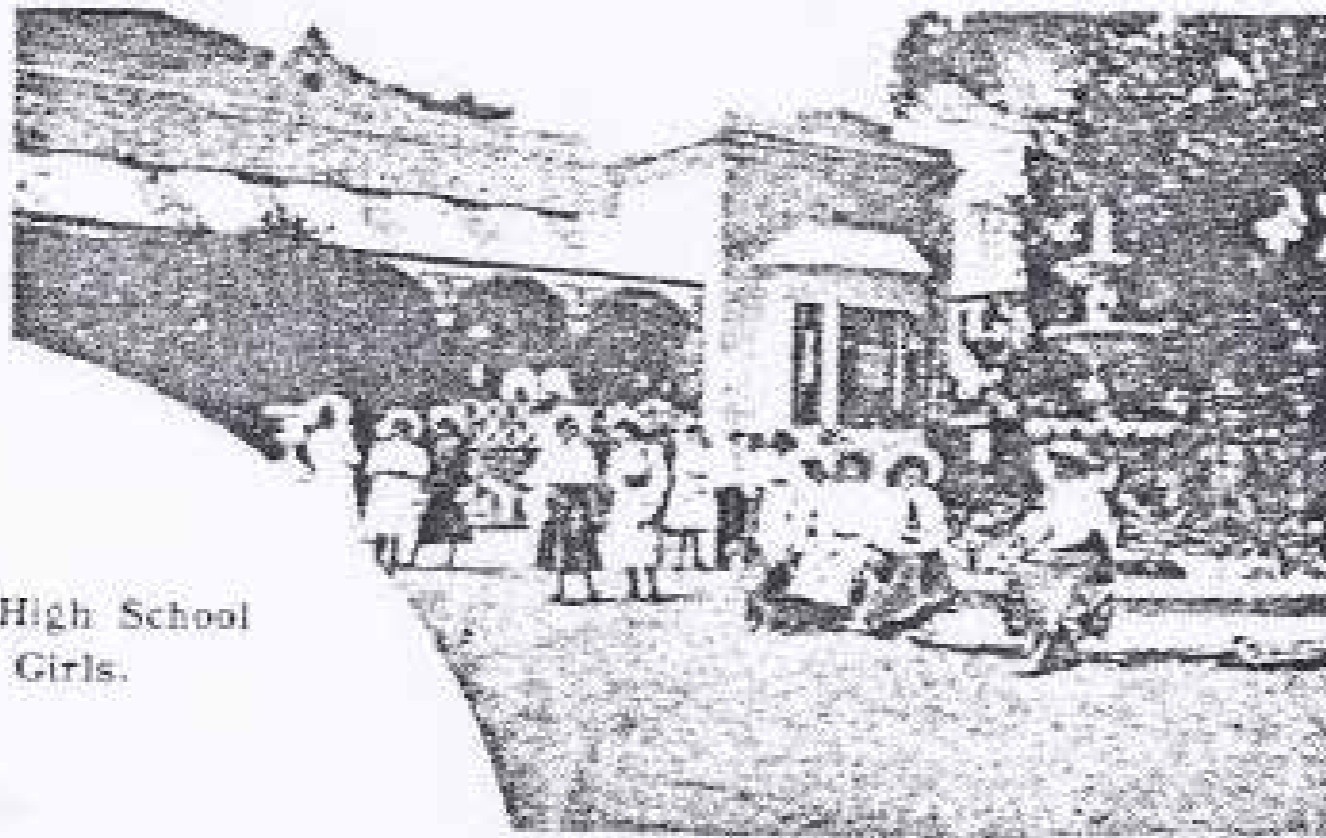
Figure 50. Historic architectural character Analysis of Ellerslie/Tafelberg site complex & environ 1944 -1966 (RSA, 2025b, after CoCT 480 Series Historical Maps).

5.3.3. Architecture and Urban Character - Naming of Parts (1898 - c.1968)

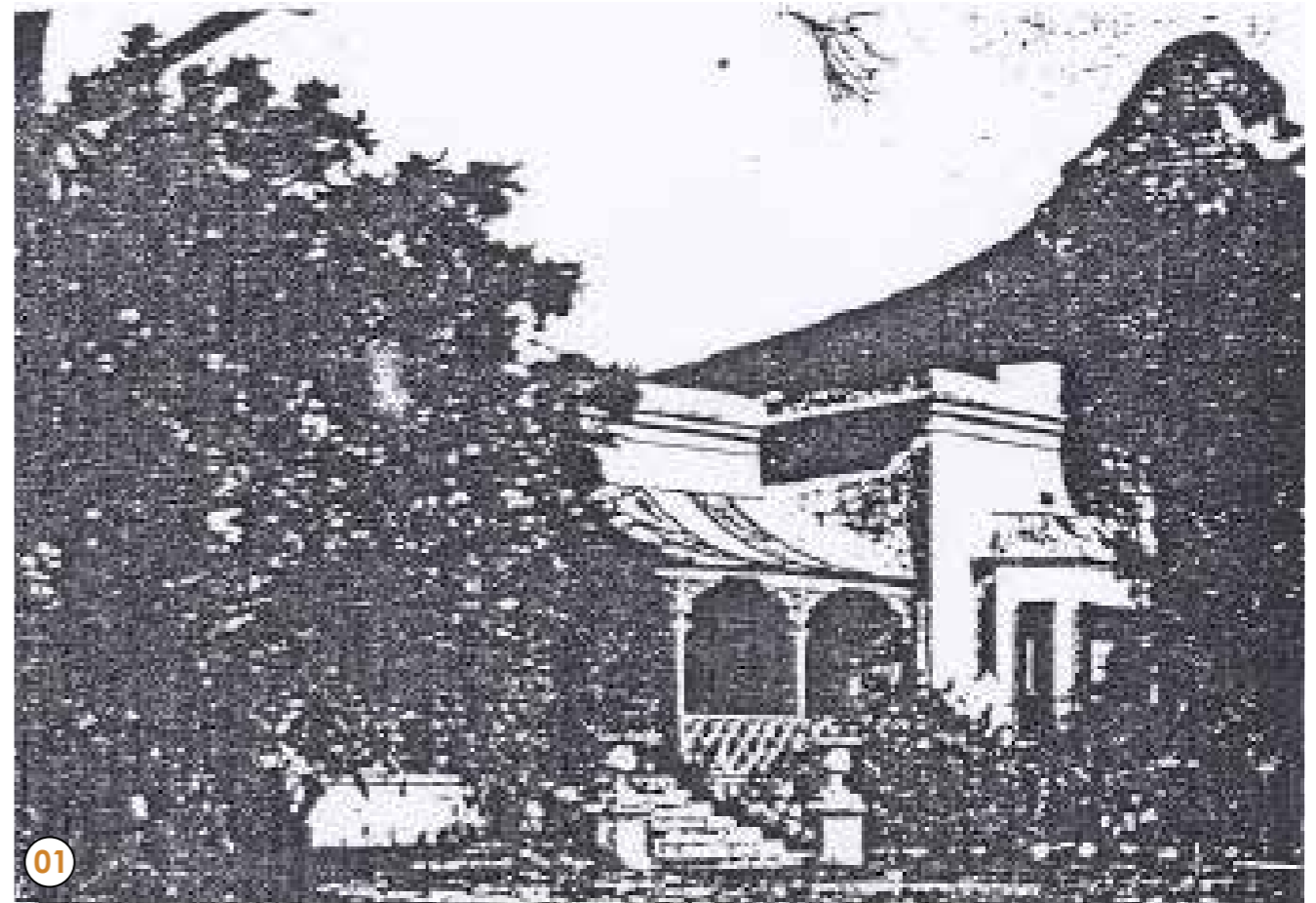


1898

1898



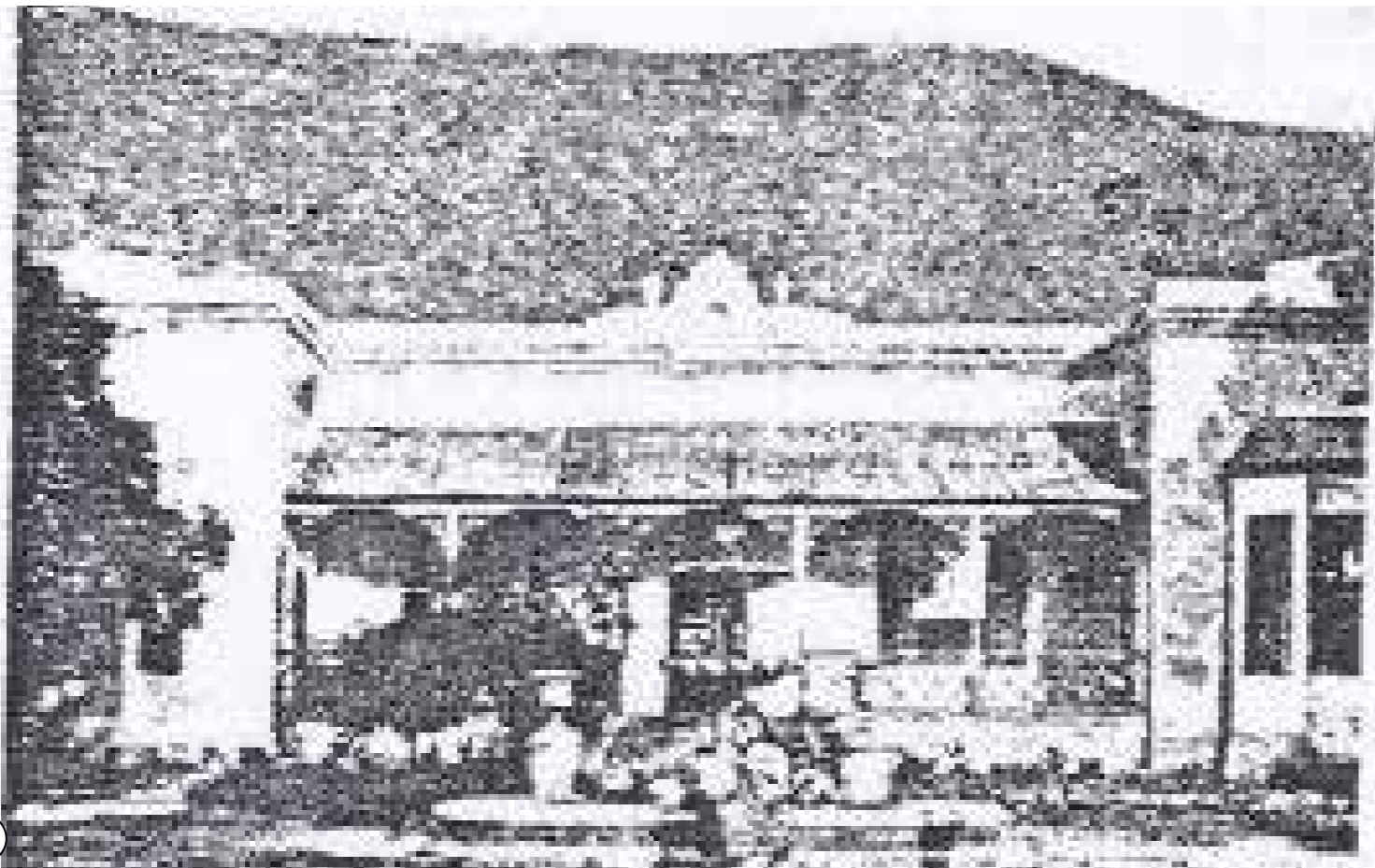
01



01

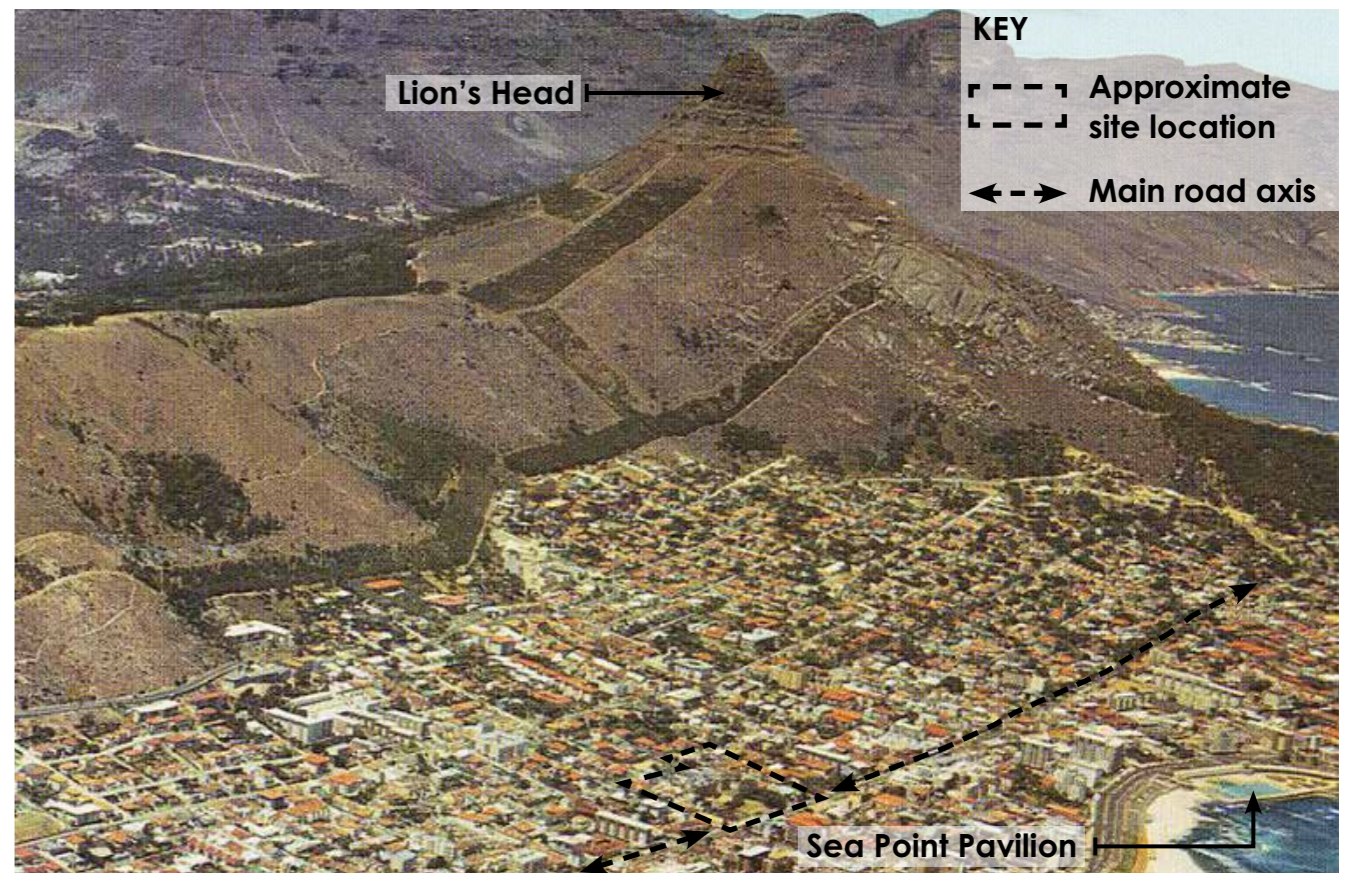
Dutch Homestead Ellerslie c.1920s (SAHRA file no 31K1Kaal37)

1962

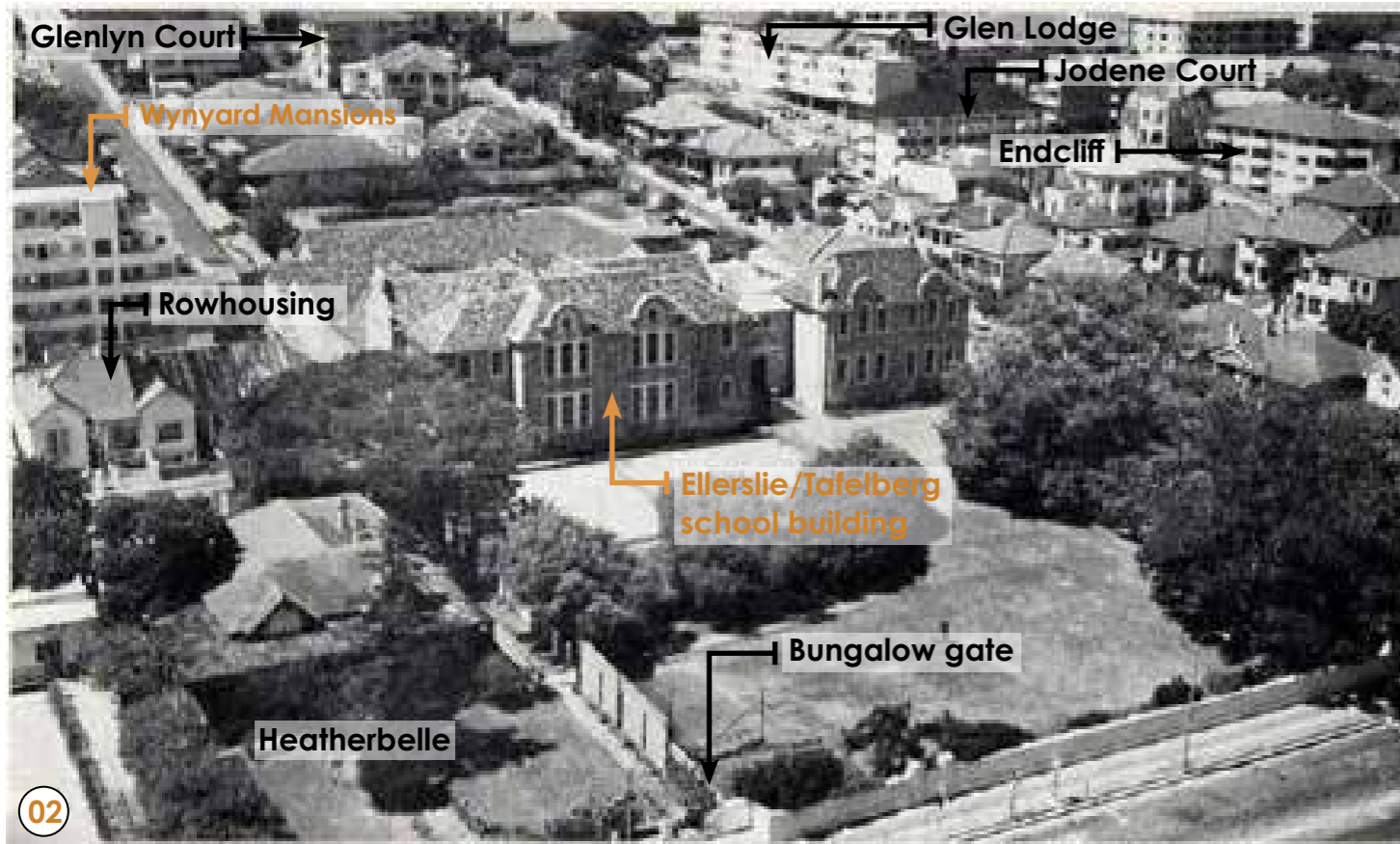


01

Dutch Homestead Ellerslie c.1920s (SAHRA file no 31K1Kaal37)



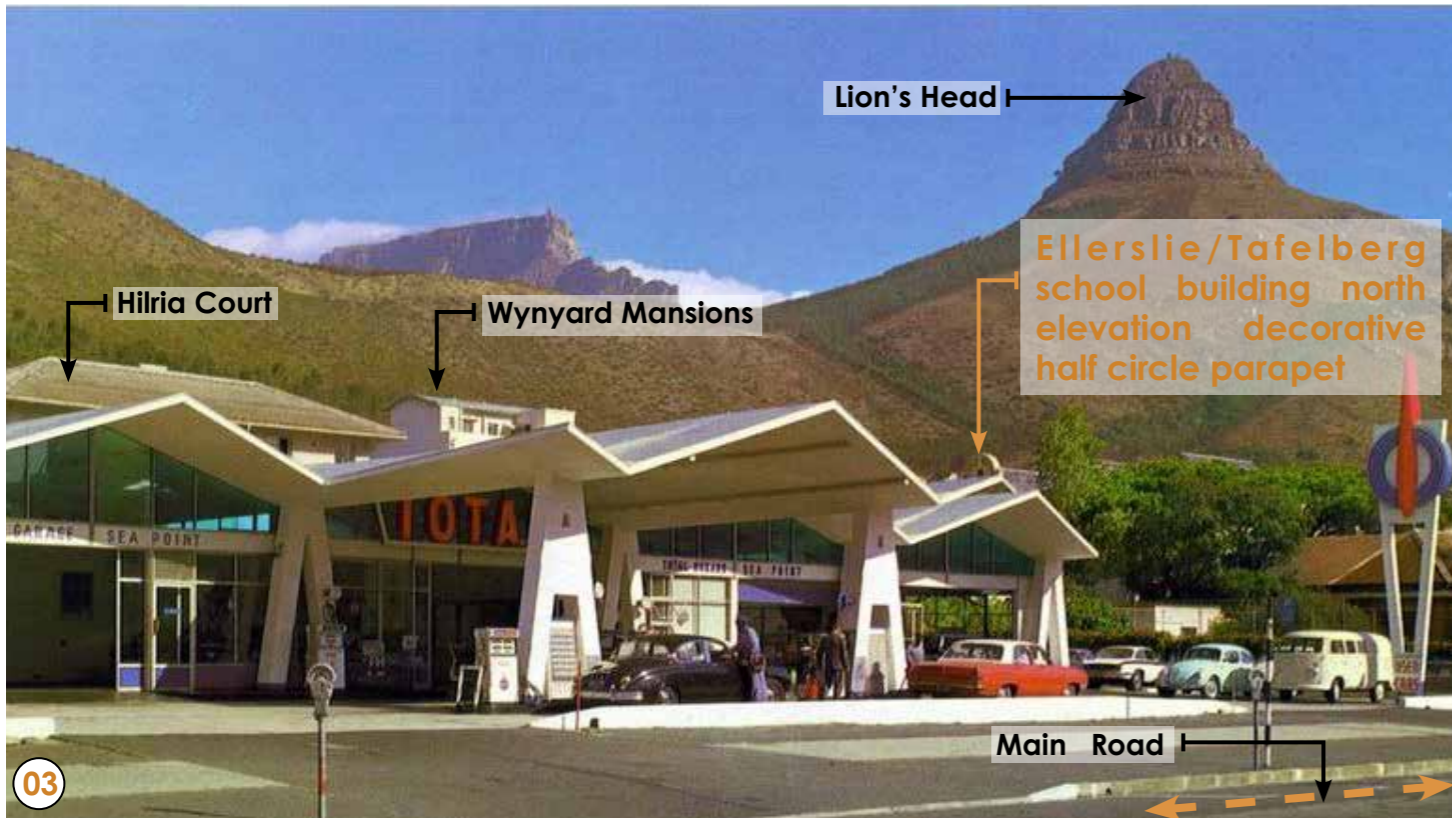
c.1950



02

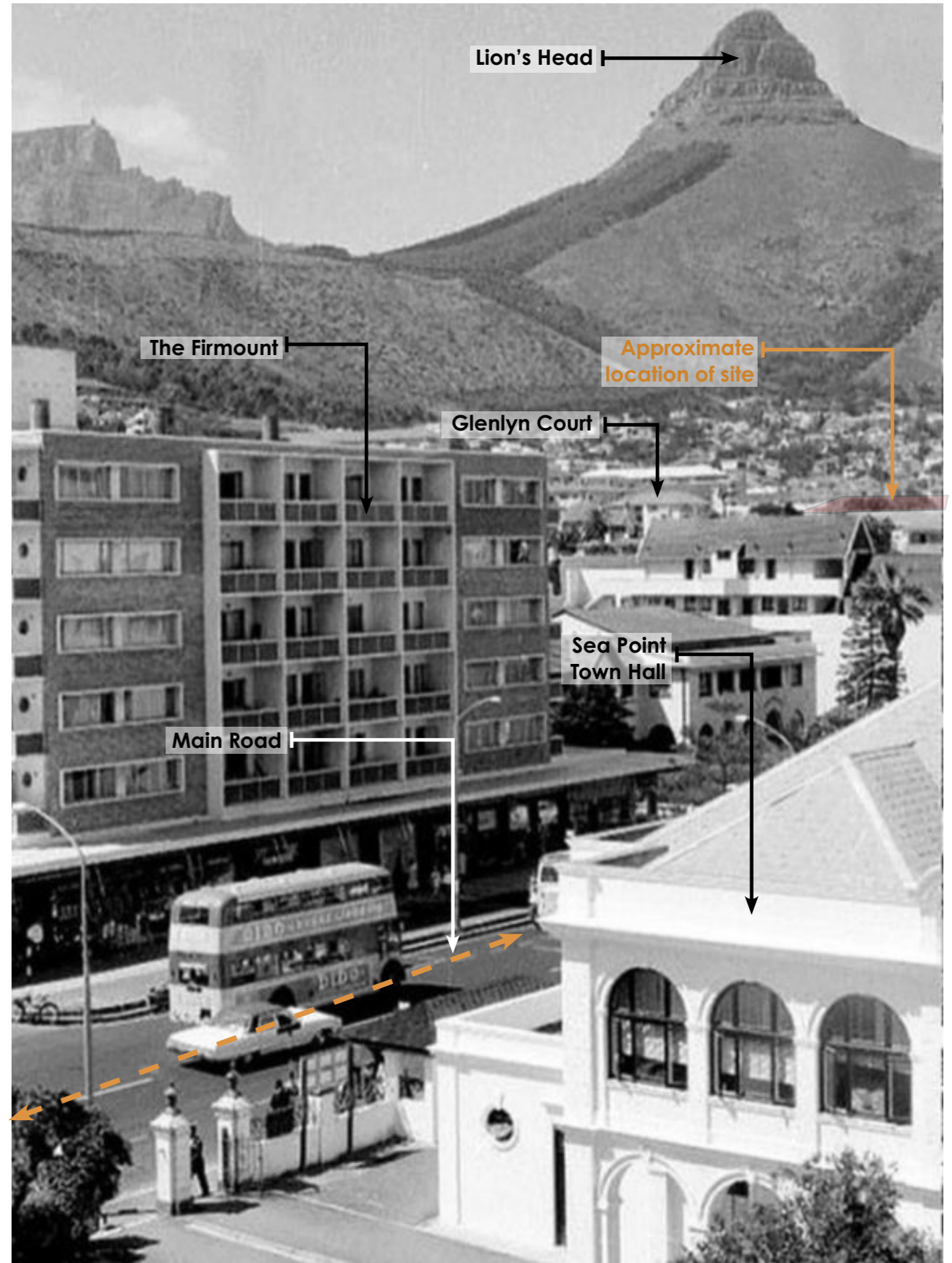
Aerial image of School Buildings front façade and front garden c 1950. Visible is the Victorian residences 'Heatherbelle', situated on school grounds facing Main road (left corner) and the residences on Ellerslie Avenue (left hand side mid image). (Image: O'Donoghue 2011, SAHRA file no 31K1Kaal37)

c.1968

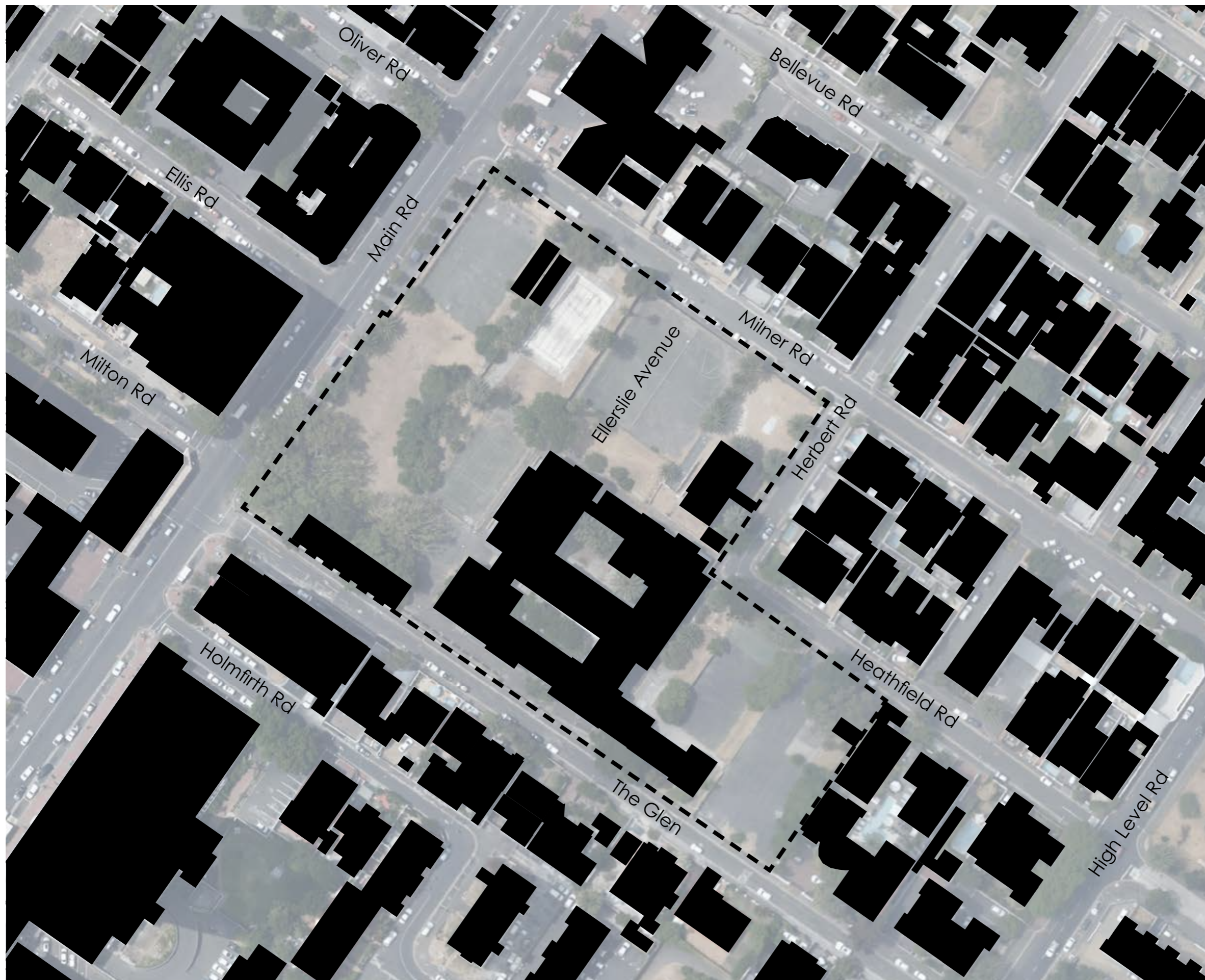


03


The Total garage on the corner of Main and Milner Rds, with a magnificent triangle profiled concrete forecourt roof 1968, replaced with a conventional steel roof. (Etienne du Plessis - flickr.com)



5.3.4. Contemporary grain and pattern (Late 20th century - 21st century)



KEY

-  Site and boundary.
-  Urban grain

The current spatial pattern of the site and its environ remains largely unchanged, characterised by a 'Lynchian fine grain' with unitary diversity. Since 1966, the main road has experienced increased densification. In contrast, the Ellerslie/Tafelberg site complex now exhibits a coarser urban grain.


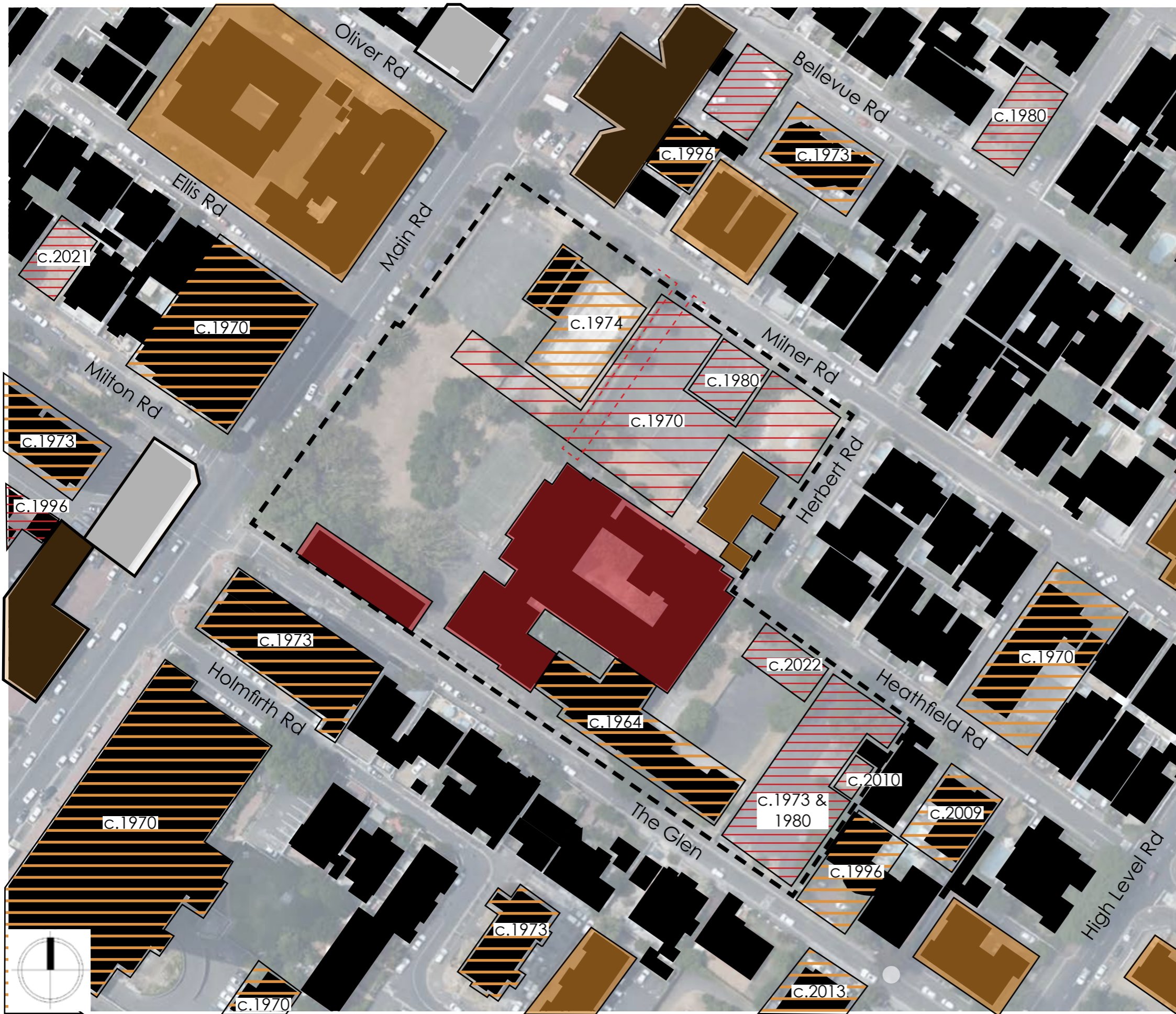


Figure 51. Historic architectural character Analysis of Ellerslie/Tafelberg site complex & environ 1944 -1966 (RSA, 2025b, after CoCT 480 Series Historical Maps).

5.3.5. Architecture & Urban Character (Contemporary)



From the early-mid 20th century to today, Sea Point has been constantly evolving and changing. Mid to high rise blocks of flats have been replacing more historical fabric. Some of these flats themselves are of architectural interest and contribute to the richness of the area.

The architectural character remains richly textured and layered with elements reflecting its morphology with a wide variety of building typologies; however, there is coherence to the composition in terms of scale and grain.

KEY

- Site and boundary.**
- Possible Archaeological remains of C19th**
- Historic School Building**
Ellerslie Girls High School & Mid C20th additions
- Flats**
Early-Mid C20th Modernist flats (Intact fabric with minor alterations).
- Petrol Stations**
(Intact fabric with minor alterations)
- Shops**
(Intact fabric with minor alterations)
- Early-Mid C20th structures**
comprising row housing, single and double story villas, and freestanding structures. (Intact fabric with minor alterations)
- Late 20th & 21st century development**
- Densification**
- Significant changes to the historical fabric with late C20th, mid to high-rise blocks of flats.
- Rarification (becoming less dense)**
- Vacant land. Single-storey structures, row housing, and villas demolished.
- Possible Archaeological remains of 19th and early C20th structures.

RSA (2025) Historic architectural character Analysis of Ellerslie/Tafelberg site complex & environ 1944 -1966 (after CoCT 480 Series Historical Maps).

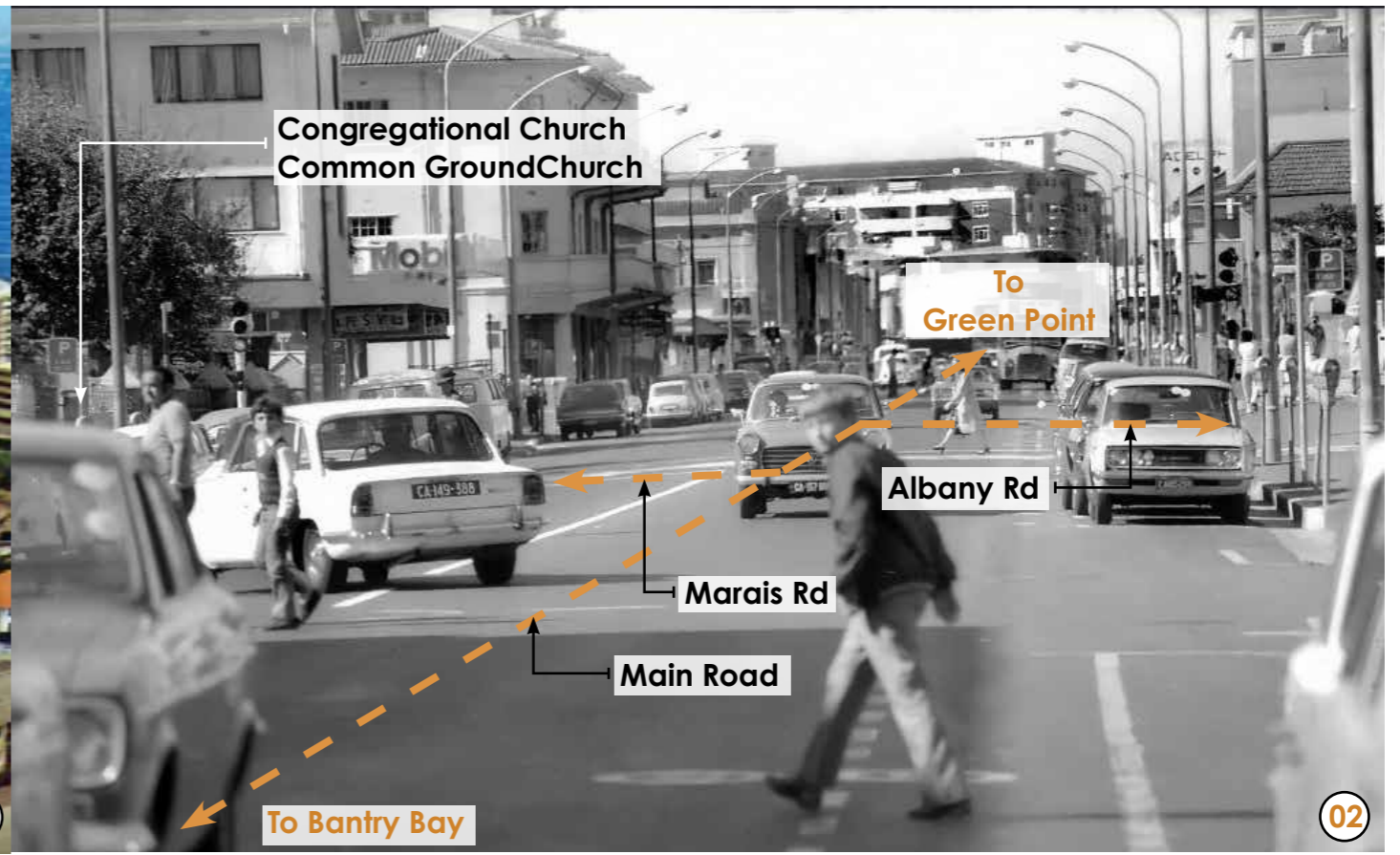
5.3.6. Contemporary Architecture & Urban Character - Naming of Parts (c.1975 - 2025)



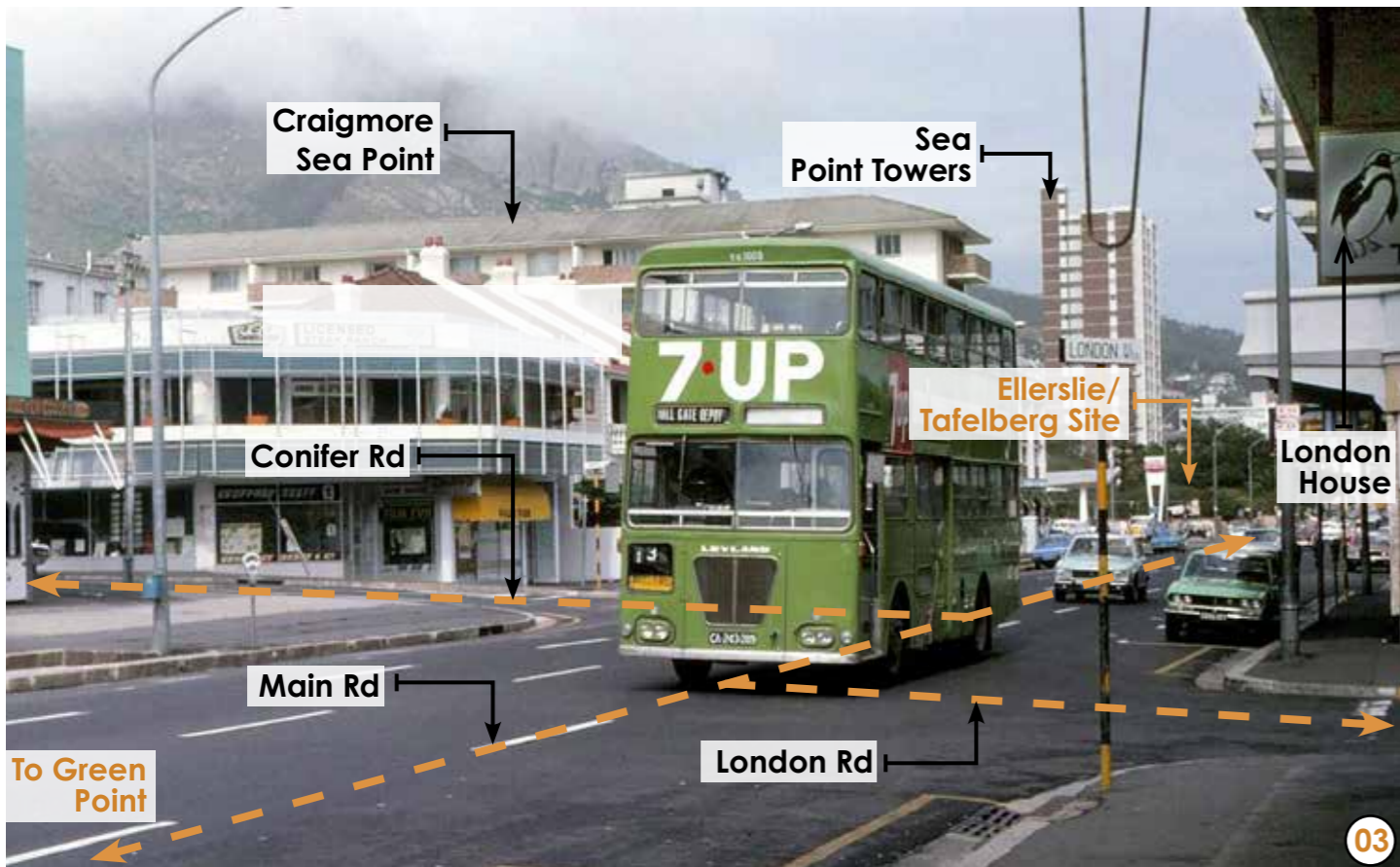
c.1975



1975



1973



C.1970



2023



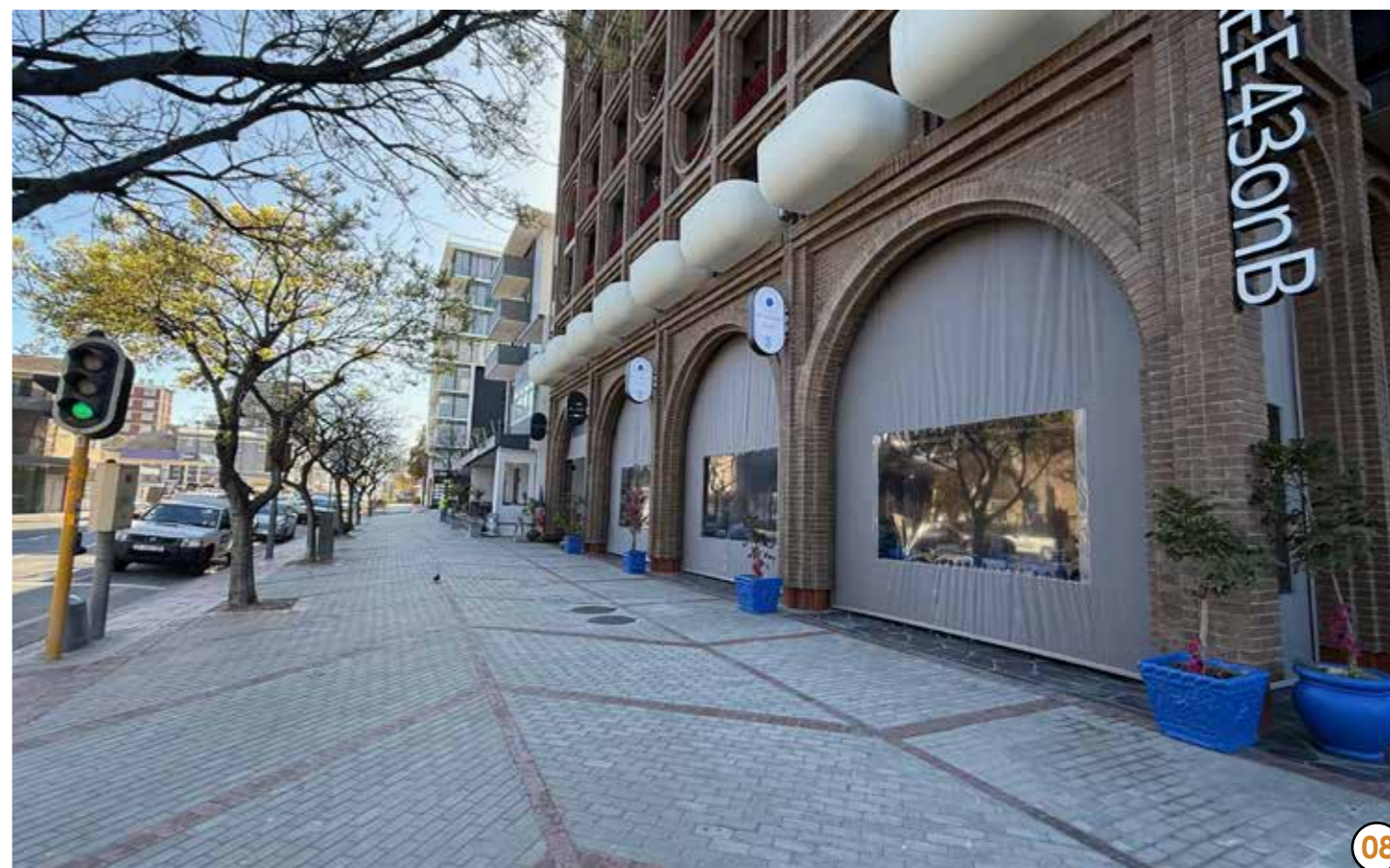
2025



2025



2025



2025

5.4. Principals and Informants

5.4.1. Introduction

Four overarching principles and informants provide heritage-based design indicators derived from the City of Cape Town Municipal By-law, Typography of the environ, movement patterns, heritage protection/ inventory, natural resources/ environment, physical built form analysis, and site and school development. The characteristics and sensitivities of each informant is explored on pages page 59 to page 62 .

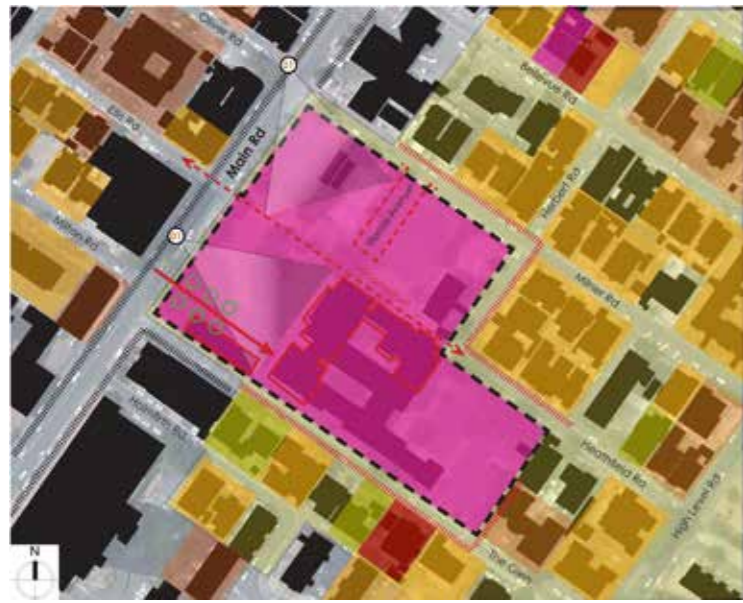


Figure 52. Heritage Informants (RSA, 2025)



Figure 53. Urban Condition Informants (RSA, 2025)



Figure 54. Urban Development and Zoning Informants (RSA, 2025)



Figure 55. Built Form Informants (RSA, 2025)

5.4.2. Heritage Informants



Formal protection
Municipal Planning By-law (MPBL)
Sea Point (HPOZ)

High concentration of buildings older than 60 years, alongside Gr. IIIA and III B structures.

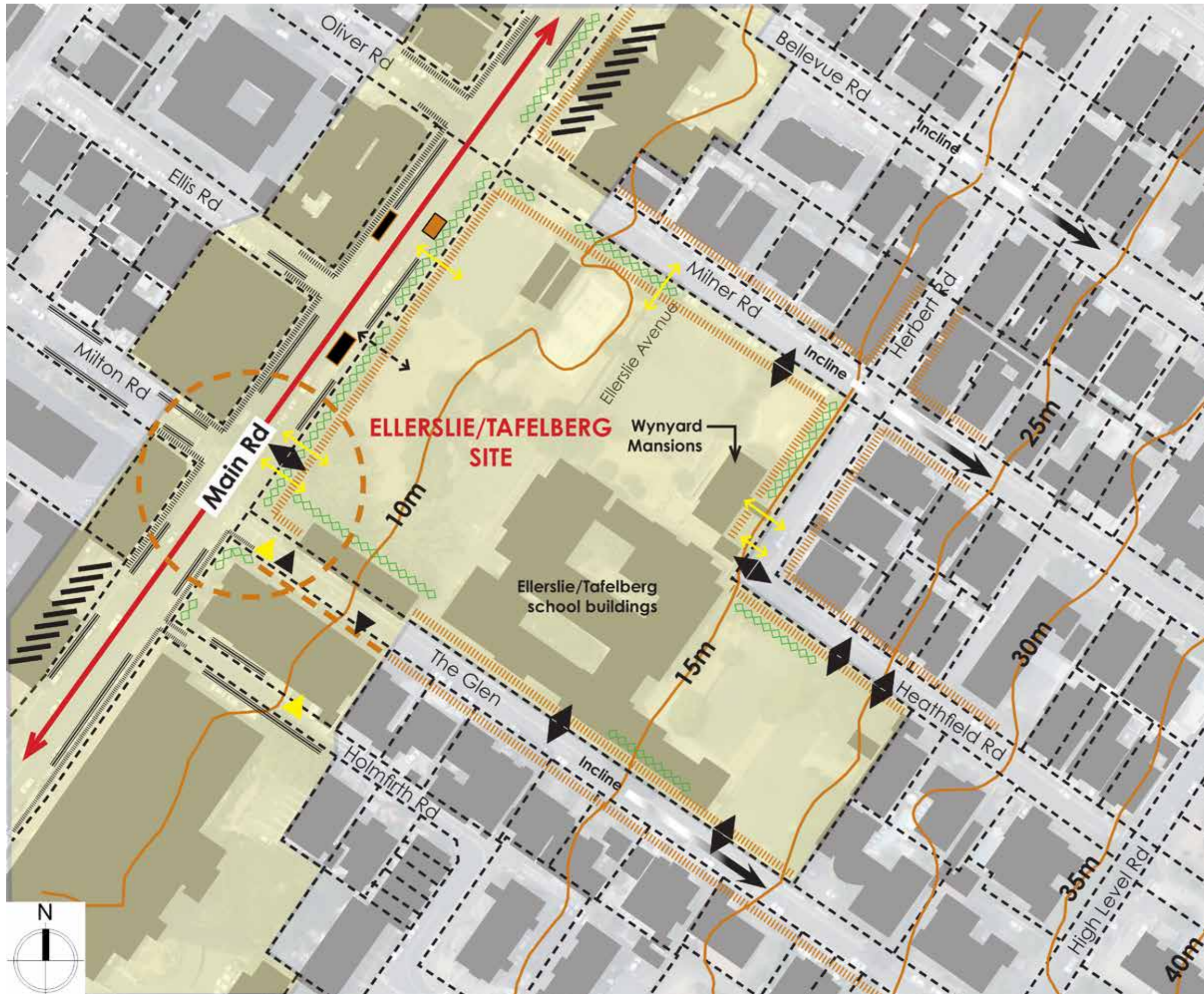
Streetscape characterised by a variety of architectural styles, including Cape Revival, Arts and Crafts, Victorian, and Edwardian, with a later intrusion of modernist block of flats.

Presence of different typologies ranging from row housing, single and double storey villas, freestanding structures, and flats.

KEY

- Site and boundary**
- FORMAL PROTECTION (MPBL)**
Sea Point HPOZ
- PHS**
Provincial Heritage Site
- Gr. IIIA
- Gr. III B
- Gr. III C
- Gr. III C/IV
- Significance structures/
Landmark
- Views to landmark
- Historic axis
- Sensitive interface**
- mostly coherent and intact historic fabric
- Loss of architectural character & streetscape coherence due to development
- Remnants of C19th granite wall
- Possible archaeological remnants of Ellerslie Road
- Historic boundary



















5.4.3. Urban Condition Informants



High volume movement on Main Road, Low volume vehicle movement on connecting streets.

Main Road condition: active street interface. Residential condition: fine grain urban grid. Green edges to site.

KEY








-  Contours 5 meter
-  Urban grid
-  Green edge condition
-  Incline
-  Active edges
-  **PHYSICAL/BUILT STREET EDGE**
Private and public domains separate, leaving an undefined area in between
-  **OPAQUE STREET EDGE**
Visually and physically impermeable no punctures offering scope of participation
-  **UNDEFINED STREET EDGE**
Private and public domains loosely defined with a vacant frontage, built edge setback and forecourt
-  **PT2 ZONE (PUBLIC TRANSPORT ZONES)**
Characterised by parking reduction and promoting public transport use
-  Main Road (Minor Arterial)
-  On Street Parking
-  Bus Stop
-  MyCiti Bus Stop
-  Car transitional interface entry and exit
-  Drive-thru transitional interface entry and exit
-  Pedestrian transitional interface entry and exit
-  Pedestrian transitional interface entry and exit. Opening bricked up (unclear - detailed research required)
-  Traffic calming node

5.4.4. Urban Development and Zoning Informants



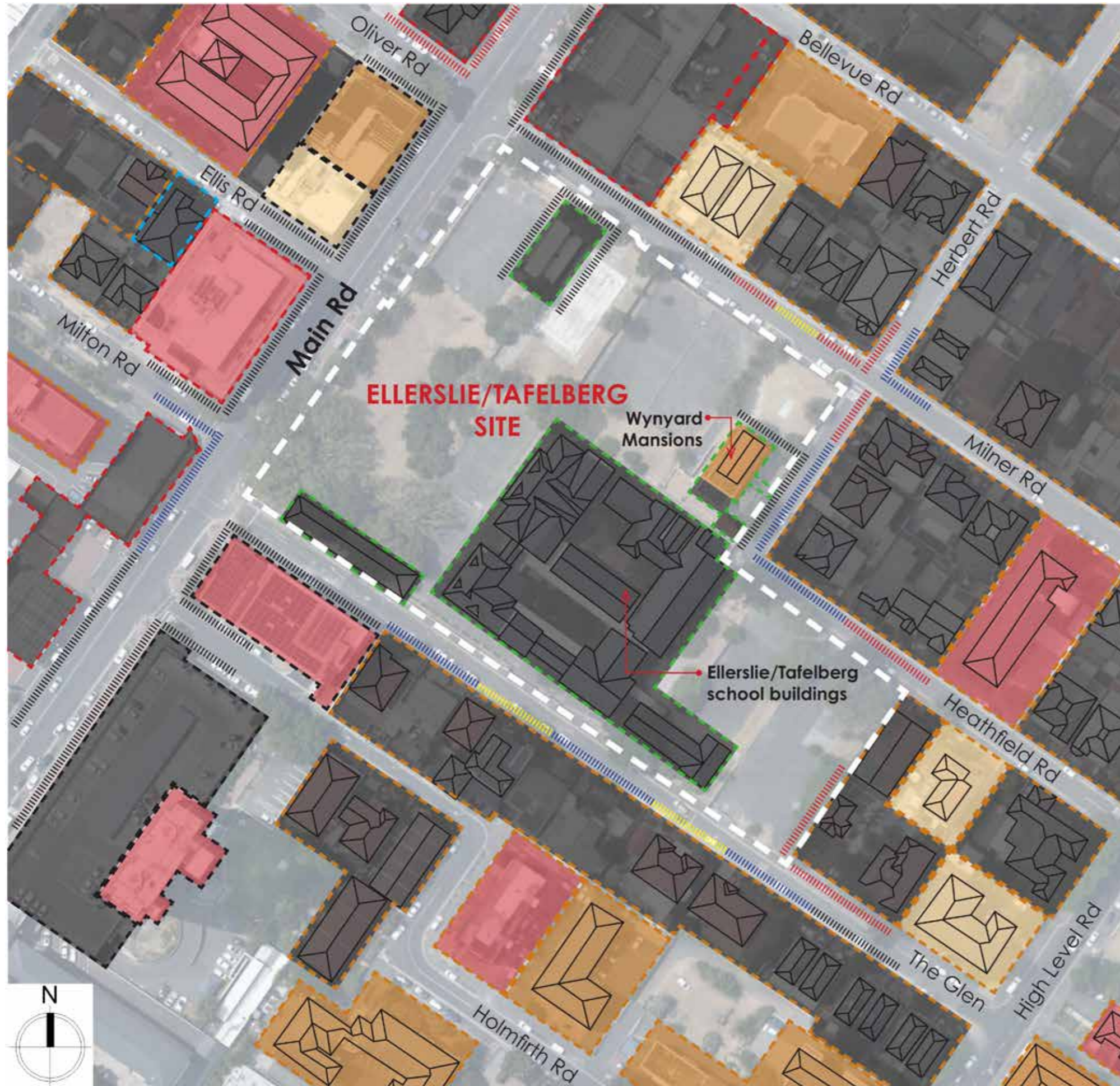
The site is within the City of Cape Town's Urban Development Edge and City Improvement District. It is designated for high-density residential development. The front portion is zoned General Business 5, and the rear portion is zoned General Residential 4. The site also forms part of the Urban Inner Core spatial transformation area.

KEY

-  CITY IMPROVEMENT DISTRICT
-  GENERAL RESIDENTIAL 2
-  GENERAL RESIDENTIAL 4
-  GENERAL BUSINESS 5
Mixed Use 1
-  GENERAL RESIDENTIAL 5
-  OS2
Open Space 2 : Public Open Space
-  NEW DEVELOPMENT AREAS
High Density Residential



5.4.5. Built Form Informants



The boundary of the site is surrounded by a variety of architectural styles, mostly modernist, alongside Main Road, associated with the early to mid-20th-century development of Sea Point.

The Glen, Milner Road, and the rear side of the site are characterised by the early 20th-century residential expansion into Sea Point, comprising mostly intact Victorian and Arts and Crafts fabric, and the intrusion of modernist block flats. The height is still predominantly 1- and 2-story, low-rise, and the function of the structures still remains residential.

KEY



Site and boundary.



Roof types

ARCHITECTURE STYLES

- Mostly intact Victorian fabric
- Mostly intact Arts and Crafts fabric
- Modernist built fabric
- Early-Mid C20th densification
Some architectural merit
- Victorian fabric, altered

HEIGHTS

- 20 + Metres
- 15 - 20 Metres
- 10 - 15 Metres
- 1 and 2 Storey

FUNCTION

- Residential
- Mixed use
- Commercial
- Vacant
- Civic/religious

6.0. VISUAL IMPACT ASSESSMENT

See Annexure P for full report

6.1. Study Area

The development site was identified as a strategic development site in the Table Bay District Spatial Development Framework (DSDF), suitable due to its location in the Sea Point CBD and close to public transport.

The VIA (Square One, 2026: 9) notes that, as the existing Tafelberg school site will not be redeveloped as part of this assessment, “the school site becomes a key heritage landmark that is essentially positioned immediately adjacent to the portions of the site that will be assessed for potential redevelopment”.

6.2. Visual Policy Framework

Relevant policy framework documents affecting the possible visual impacts of the development include the following:

Scenic Drive Network Management Plan (2003)

This document “aims to protect and enhance scenic routes and places of scenic value, including destination places, cultural landscapes and agriculture-rural landscapes celebrating all of Cape Town's diverse culture” (Square One, 2026: 5).

Although not along any identified scenic route, the site is in proximity to the M6 (Beach Road), an identified scenic route. The SNDMP identifies the greatest threat to scenic routes as existing and future developments along them that do not consider the intrinsic scenic value or experience of the route.

Tall Building Policy (2013)

Guidelines from the Tall Building Policy (2013) that apply to the site are as follows:

- Tall buildings, as a general principle, should not be developed on sites where they can create negative visual impact, for instance in sensitive historic environments. The main aim is to reinforce key landmarks, views and vistas.
- Complement and enhance the overall form of the precinct by scaling proposed tall buildings to sit in harmony with immediate / adjacent buildings or respecting other height levels in the design of the new tall

building development.

- Locate and set the tall building's shaft back in such a manner that it limits its visual impact on the street, open space and neighbouring properties that are lower in scale and provide appropriate setbacks of tall buildings from existing buildings to give sufficient space so as to create/ achieve an appropriate transition.
- The final appropriate height should be determined by having sufficient vertical space to allow for a balanced stepping down of the tall building towards the lower scaled buildings.

Table Bay DSDF (Vol. 2 - 2023)

353 Main Road has been designated a strategic site, supported by the following core principles and spatial strategies outlined in the Table Bay District Spatial Development Framework:

- Location within the Sea Point CBD Node
- Position on a Primary Activity Corridor.
- **Densification and Inward Growth:** A foundational principle of the entire DSDF is to counter urban sprawl by promoting densification and inward growth. The framework actively encourages redeveloping underutilized sites (like the former Tafelberg School) within the existing urban footprint, especially in well-located areas with existing infrastructure.
- **Transit-Oriented Development (TOD):** The site is situated directly on a MyCiTi Bus Rapid Transit (BRT) route. This aligns perfectly with the DSDF's emphasis on Transit-Oriented Development, which seeks to concentrate housing, jobs, and services around public transport hubs to reduce reliance on private cars and create more sustainable communities.
- **Publicly-Owned Land for Spatial Transformation:** The DSDF recognizes that underutilized, publicly-owned land presents a critical opportunity for spatial transformation. Policy directs that such sites should be used to achieve strategic city-wide objectives, including the provision of more affordable housing and the creation of integrated, inclusive communities to redress apartheid-era spatial planning.
- **Urban Restructuring and Upgrading:** The framework identifies areas for urban restructuring and upgrading, where significant changes in land use and building intensity are supported to revitalize the urban fabric. The development of a large, prominent site like 353 Main Road is a clear example of the kind of catalytic project envisioned for these areas.

6.3. Receiving Environment

The site is located in a predominantly residential area, with sporadic commercial land use, and is a dynamic interface between a dramatic natural setting and dense, layered urbanism. The area is bounded by a rugged coastline interspersed by beaches, and the lower slopes of Signal Hill, with its topography defining the sense of place and contributing to the neighbourhood character. The linear alignment of the Promenade is the most significant landscape feature, and mediates the relationship between the city and the sea. The historic fabric reflecting the development neighbourhood, is juxtaposed with modern high-rise buildings. "The site at 353 Main Road exemplifies this historical layering as its preserved parkland is a rare remnant of the large 19th-century estates that once defined the area, standing in contrast to the surrounding urban density" (Square One, 2026).

The core structure on site is the historic school building, particularly its original portions. The many mature trees - particularly the stands of ficus, and other indigenous trees - are of high significance (see Annexure F).

Current access to the site from The Glen is via an entrance located on the upper portion of the southern boundary of the site with the proposed Portion 2 housing development poised to make use of this existing access point. The Portion 2 housing development is largely proposed to be constructed on a portion of the site that is currently being used as an open parking lot and as such is completely paved. As part of the proposed Portion 2 development, the existing music rooms will be demolished.



Figure 56. Existing Portion 2 site as at 2023 (Square One, 2025)

To the north-west of the proposed Portion 2 site is the historic Tafelberg School building which holds landmark qualities, and high aesthetic significance. The history of the site is also evident in the wild fig tree avenue. "These large mature trees create a lush canopy that provides shade and a sense of seclusion from the busy urban environment that surrounds the site, with the park area been seen as one of the last open green spaces in the Sea Point CBD. This urban greening plays an integral role in defining the cultural landscape character of the area and as such every effort should be made to protect its exceptional quality and historical significance" (Square One, 2026).



Figure 57. Existing avenue of Ficus (Fig) trees as at 2023 (Square One, 2025)

The site is bounded at the north east, east and south by predominantly residential development of varying scales, with larger scale general mixed use multistorey developments defining the boundary along Main Road at the west. To the north of the Tafelberg School building is the proposed Portion 1 development site, currently the location of the existing dilapidated swimming pool and sports fields.

7.0. HERITAGE RESOURCES AND SIGNIFICANCE

7.1. Heritage Resources: Context Scale

Sea Point East is constantly evolving and changing. The immediate context is richly textured and layered with elements reflecting its morphology. The street character of this sector of Main Road in the site's immediate and neighbouring blocks includes a wide variety of building typologies, however there is coherence to the composition in terms of scale and grain.

The majority of the buildings are fairly low-rise, ranging from single storey Victorian-era villas and shops to small, four-storey mid-century apartment buildings, and occasional recent structures, particularly along Main Road, such as a multi-storey mixed-use building and a low-rise petrol station. The masonry wall edging the site, with its trees and deep garden set back, allows for exceptional views of the mountain from Main Road and this contributes significantly to the quality and sense of place the site contributes to the area. This variety in grain, period and style of the built form, along with the open park quality of the site, lends this sector of Sea Point a very specific aesthetic and contextual character.

Significant buildings on the main Road in the immediate vicinity include:

- Sandstone Sea Point Evangelical Congregational Church (1896), Grade 3A.
- Single storey shop row with intact parapet, parapet detail and veranda columns: 3B.
- Mid-century, modernist style residential flats: 3C.

The residential sector, set back up the slope one building's depth from the Main Road, is characterised by a density and consistency of low rise residential dwellings representative of Sea Point's evolution. The area is protected by the Sea Point HPOZ, which recognises the aesthetic and contextual value of this coherent fine grain. It is described by CoCT as follows:

"an area of heritage significance comprising a rich and dense composition of housing typologies and periods. A sprinkling of houses date back to the mid-19th century while most of the building stock is turn of the century row housing – both single and double storey, interspersed with Edwardian houses and institutional buildings. From the early-mid 20th century to today blocks of flats have been replacing more historical fabric. Some of these flats themselves are of architectural interest and contribute to the richness of the area."



Figure 58. Sea Point HPOZ. Site outlined red. (CoCT EGSViewer, 2025)



Figure 59. Sea Point grading. Site identified as a PHS outlined red. (CoCT EGSViewer 2025)



Figure 60. Sea Point Evangelical Congregational Church: 3A (Image: Google streetview)



Figure 62. Apartment building, NCW (Image: Google streetview)



Figure 61. Apartment building: 3C (Image: Google streetview)



Figure 63. Commercial row: 3B (Image: Google streetview)



Milner Road NCW



Heathfield Road Grade 3C



Herbert Road Grade 3C



Herbert Road Grade 3C



The Glen Grade 3B



The Glen Grade 3B



The Glen Grade 3C

Figure 64. Residential neighbourhood mixed gradings (Google streetview, 2023)

7.2. Heritage Resources: Site Scale

The site complex on erf 1424 is a Provincial Heritage Site (PHS) by virtue of its 1989 declaration as a National Monument and is formally protected in terms of Section 27 of the NHRA.

There has previously been confusion regarding the “boundaries” of the PHS area. However, HWC has confirmed that it deems the site *in its entirety* to be formally protected as a PHS under the NHRA. The site is described in the Government Gazette Notice as the “so-called Ellerslie Girls’ High School building complex, situate on a portion of Consolidated Erf 1424”. The phrase “building complex” is interpreted to include all buildings making up the school complex (see Annexure A for a letter for clarity from HWC).

While the statutory heritage status is that of PHS, the site as a whole and the heritage resources within the site are graded to assess their heritage significance and sensitivity to change. The site is significant as a whole for its composition and component parts. It is composed of cultural landscape qualities, several built heritage resources, and has associational value attached to its 20th century history as a school.

The cultural landscape elements are evident in the extent of the site as a whole with elements representing 200 years of the evolution and development of Sea Point. Its early history is evident, with old built fabric such as stone boundary walling and structured terracing, remnants of its 19th century history as a residential/farm estate, and plastered masonry boundary walling dating to the late 19thC. The elaborate gated openings (some now bricked closed) in the walling reference earlier access and use. This, particularly along the Main Road interface, contributes significantly to the public experience and sense of placemaking and landmark quality of the site.

The history is also evident in the wild fig tree avenue, itself a replacement of an earlier pine tree lined approach, the extent of the open front garden/park surrounded by mature trees, and the placement of the 1935 building on the footprint of the original homestead. The most significant of the built environment elements is the “High School For Girls” building, particularly the earliest portions and front facade visible from Main Road. These legible site elements, along with the bike shed (c1930) and modernist Wynyard Mansions (c1956) contribute to the historic layering of the site and to its distinctive character.

In terms of the NHRA Section 3(3), heritage resources are identified as follows:

- Historical, contextual: The site as a whole (its landscape, layout and structures) is very layered and potentially highly legible with the capacity to contribute to an understanding and appreciation of the history and heritage of the wider area. Wynyard Mansions contributes to this historical, contextual significance.
- Rarity: The size of the site and the site as palimpsest is unique. It occupies an entire urban block on Main Road and is made distinctive by the street edge boundary wall.
- Representative:
 - The building is highly representative of school architecture, particularly that of Parker, of the period.
 - The school buildings representative of the typology of the period. The history as a primary school for girls, then expanded to accommodate high school girls is representative of the 20th century's changing attitudes to the education and role of women in society.
 - The site as a whole has come to represent alternative attitudes and opportunities regarding spatial redress and social justice.
- Aesthetic: The sandstone school building and its landscape setting has high aesthetic significance.
- Socio-historical: The history as Ellerslie School for Girls has a high memory value. The subsequent role as Tafelberg High School, while much shorter in duration, also carries important associational significance, both in its role as a school, and for what the site has come to represent in the efforts of those working for spatial redress and social justice.
- Associational: As a structure, the school building is associated with several significant early 20th century Cape architects, particularly John Parker and William Black.

7.3. Archaeological Significance

Archaeological material related to the early history of the site as a farmstead could yield important information about life on these estates at the time. Remains associated with the history of the site as a school could potentially shed light on aspects of school life that would hold associational and symbolic significance that link to the memory value of Ellerslie School.

The significance of any archaeological resources identified on this site would be determined by their age, history and association, as well as their intactness, condition, and the circumstances of their provenance - i.e. accidental finds vs isolated finds vs securely provenanced material from stratified deposits.

Finds that can be related to the early history of the site would hold greater significance than any originating from the early C20th use of the site as a school, although it is less likely that such older finds would occur in undisturbed contexts.

7.4. Grading

This report grades the site as a whole Grade 3A. Within this, there are component parts of varying heritage significance and they are graded individually. It is worth noting that the CoCT City grading is Grade II, the CoCT Inventory grading for the entire site is 3A.

A detailed survey and analysis of each element supports the provisional grading overview provided by the O'Donoghue HIA 2011, with some adjustments.

- 19thC stone wall and stone terrace walling: 3A
- Wild fig tree avenue: 3A
- Front garden/park: 3A
- School building, kindergarten and hall: 3A
- Later attached school structures: 3C
- Bike shed: 3C (in a highly sensitive location)
- Boundary wall Main Road and lower portion The Glen: 3B
- Wynyard Mansions: 3C
- Sports Facilities: NCW
- Music Rooms: NCW
- Garage: NCW

The specific grading provides a granular guideline to the heritage significance and tolerance for change of an element of the site. In its Guide to Grading (2016) HWC identifies the following characteristics:

- Grade II: Heritage resources with special qualities making it significant in the context of a province or region. May be declared as a Provincial Heritage Site.
- Grade 3A: An excellent example of its kind, sufficiently rare, and significant in the context of an area, with sufficient intrinsic significance to be regarded as local heritage resource.
- Grade 3B: similar significances to a Grade 3A resource, but to a lesser degree; significant in the context of a townscape or neighbourhood
- Grade 3C: Contributes to the environs and is significant in

the context of a streetscape or direct neighbourhood, but should only be regulated if the significance of the environs is sufficient to warrant protective measures.

As can be seen, a 3C grade does not inhibit development opportunities or demolition. However any alterations, and particularly any replacement structures and new interventions are obligated to conform to development guidelines imposed by the statutory context of the HPOZ and PHS.

7.5. Statement of Significance

The site complex as a whole is significant for its historical and contextual role in the evolution and development of Sea Point, and has landmark qualities. It includes one of the largest remaining green spaces, enclosed by a historic wall, with a historic tree lined approach. It includes the Ellerslie High School building which has high architectural, aesthetic, intrinsic and socio-historical significance. It includes Wynyard Mansions which is contextually significant.

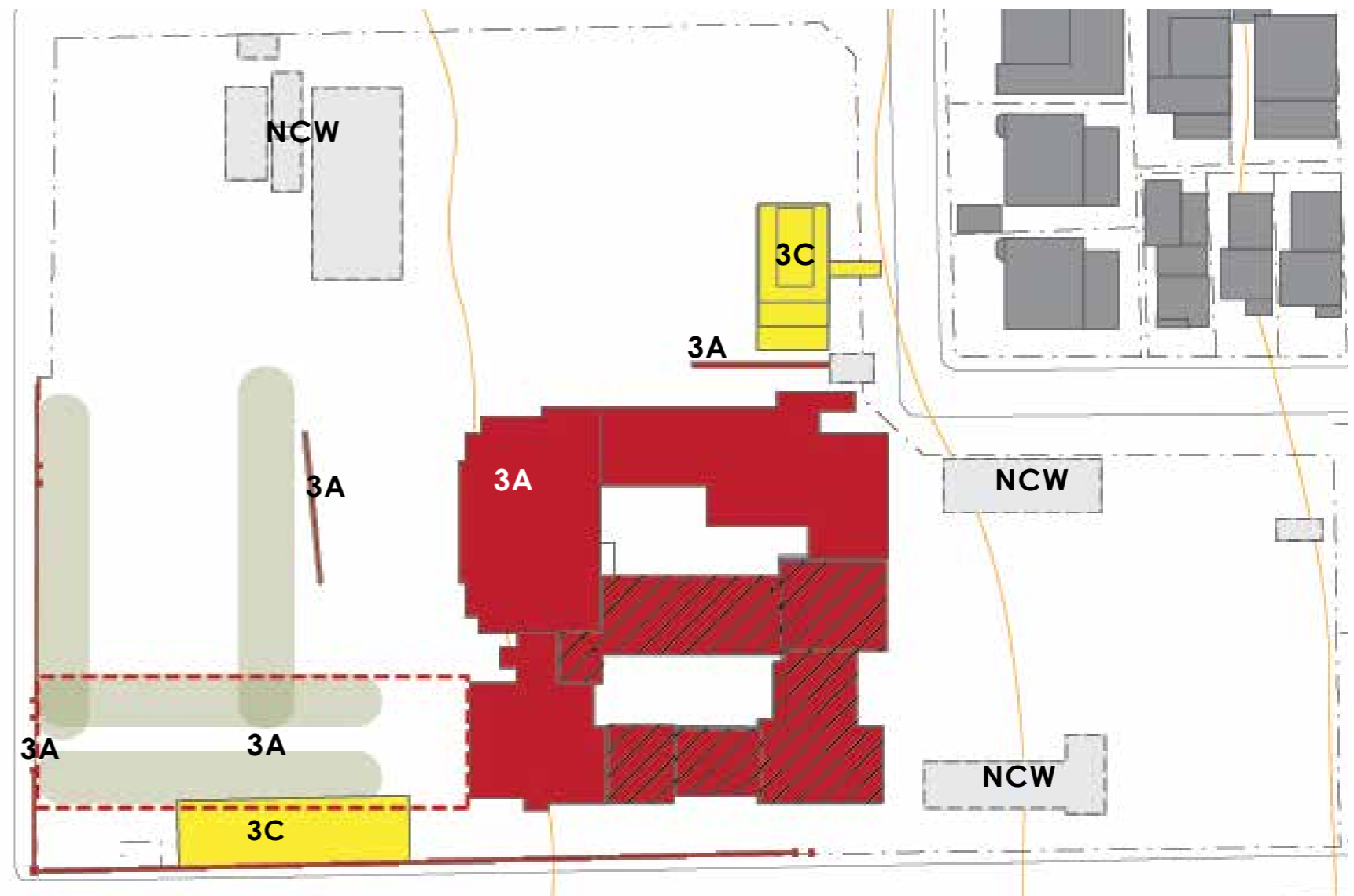


Figure 65. Proposed grading of component parts of the site (RSA 2025)

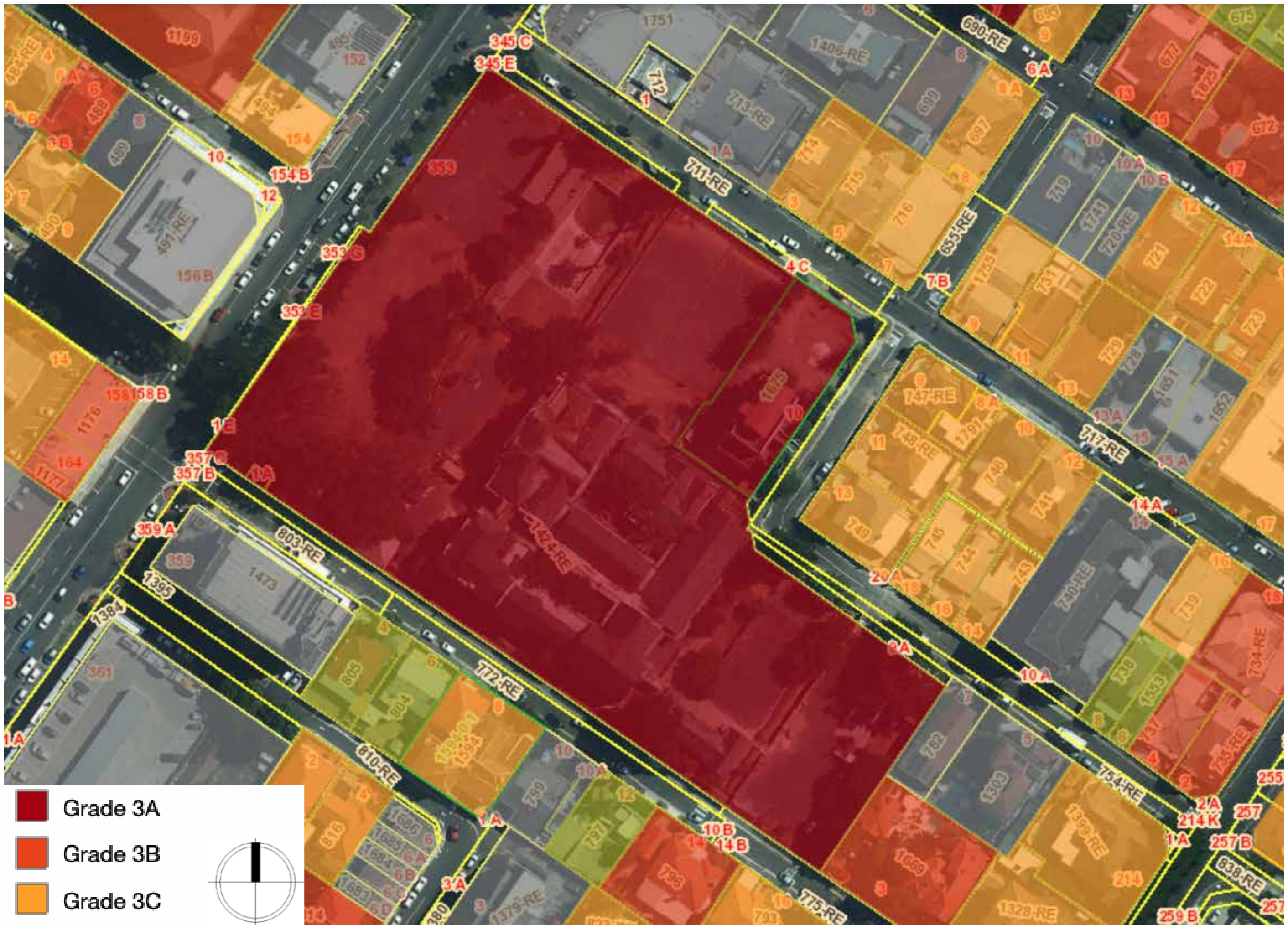


Figure 66. CoCT inventory grading of 3A for the site. (CoCT EGSViewer 2023)

TABLE OF SIGNIFICANCE

BUILDING NAME/S: Ellerslie/Tafelberg High School Complex

SITE	Erf 1424, 353 Main Road, Sea Point East.	ERF	1424	APPLICATION LEGISLATION			
ARCHITECT/S:	Parker, Black, Black & Fagg, Unknown	DATE	1901-1970s	OLDER THAN 60 YEARS:	X	PREV. NATIONAL MONUMENT:	
ORIGINAL USE:	Homestead, then School	CURRENT USE	Vacant	HERITAGE OVERLAY ZONE:	X	GAZETTE:	12214
HERITAGE VALUES				TITLE DEED RESTRICTIONS:	-	S.27	X S.34 - S.38.3

RARITY:	H	ARCHITECTURAL:	M
REPRESENTIVITY:	H	SOCIO-HISTORICAL:	H
EXCELLENCE:	M	ENVIRONMENTAL/CONTEXTUAL:	H
INTEGRITY:	M	SCIENTIFIC/TECHNOLOGICAL:	-
AESTHETIC:	M	SLAVERY:	L
SYMBOLIC	L	CULTURAL:	L
ASSOCIATIONAL:	H	INTRINSIC:	M/H
AGE:	-	ARCHAEOLOGICAL:	L



HERITAGE ANALYSIS

SITE & STRUCTURE DESCRIPTION	The site is a consolidation of two portions of early farms laid out in the c1814 allocation of land to Burghers. Both were developed with large homesteads and outbuildings accessed off Main Road; both were subdivided for suburban development in the later 19 th -early 20 th C. Both homesteads and the early villas and rowhouses were demolished in the 20 th C. The site has the Ellerslie High School for Girls buildings complex which is composed of a cluster of nested 1- and 2-storey buildings built in phases 1901-1970s. There are several free-standing single storey and misc. structures. The site includes a small apartment block, Wynyard Mansions, on a separate unregistered erf. A portion of the site (sportsfields) is brownfield site; another portion has never been constructed except for terracing and remains an open park. Consistent development, demolition, consolidation	c1815-c2000
MAJOR ALTERATION/S:		
PHYSICAL CONDITION:	Fair, but vacant.	

STATEMENT OF SIGNIFICANCE:	The complex as a whole is significant for its historical and contextual role in the evolution and development of Sea Point, and has landmark qualities. It includes one of the largest remaining open park spaces, enclosed by a historic wall, with a historic tree lined approach. It includes the Ellerslie High School building which has high architectural, aesthetic, intrinsic and socio-historical significance. It includes Wynyard Mansions which is contextually significant.
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PROPOSED GRADING OPPORTUNITIES & THREATS:	3A composed of elements of various significance from 3A to NCW (within PHS) Opportunity to redevelop and reactivate the site to serve a residential and civic role. Has been earmarked for – and is well suited to - inclusionary accommodation. The nested school building is well suited to educational and some other functions. There is the risk of insensitive or inappropriate development that negatively impacts the elements of the site that contribute to its PHS significance.
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RECOMMENDATIONS & GUIDELINES:	Careful adherence to site study indicators at an urban scale and building scale is required to ensure that any change through development utilises the available assets and enhances the composition of the complex as a whole.
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TABLE OF SIGNIFICANCE

BUILDING NAME/S: Ellerslie/Tafelberg High School building

SITE	353 Main Road, Sea Point East	ERF	1424
ARCHITECT/S:	Parker, Black, Black & Fagg	DATE	1901, 1905, 1913, 1936, 1950s, 1960s
ORIGINAL USE:	School	CURRENT USE	Vacant

APPLICATION LEGISLATION

OLDER THAN 60 YEARS:	X	PREV. NATIONAL MONUMENT:	
HERITAGE OVERLAY ZONE:	X	GAZETTE:	12214
TITLE DEED RESTRICTIONS:	-	S.27	X S.34



HERITAGE VALUES

RARITY:	H	ARCHITECTURAL:	M/H
REPRESENTIVITY:	H	SOCIO-HISTORICAL:	H
EXCELLENCE:	M/H	ENVIRONMENTAL/CONTEXTUAL:	H
INTEGRITY:	M/H	SCIENTIFIC/TECHNOLOGICAL:	-
AESTHETIC:	H	SLAVERY:	-
SYMBOLIC	L	CULTURAL:	M
ASSOCIATIONAL:	H	INTRINSIC:	H
AGE:	M	ARCHAEOLOGICAL:	-

HERITAGE ANALYSIS

SITE & STRUCTURE DESCRIPTION
Complex of two-storey, adjoining structures developed in phases to function as a school. Front facing portion is sandstone with white painted plaster window surround detail and arch topped gables. Plaster detailing with the name "High School For Girls".

MAJOR ALTERATION/S:	Hall & kindergarten extension (Black)	1905
	Upper floor extension (Black)	1913
	New building west extension	1936
	Classrooms and laboratories (Black & Fagg)	1950s
	Additions	1960s

PHYSICAL CONDITION: Vacant but well maintained.

STATEMENT OF SIGNIFICANCE: The building holds a prominent position in Sea Point on Main Road and has landmark qualities. Designed and extended by an important Cape architects, it has high aesthetic value

PROPOSED GRADING Grade 3A (within a PHS)

OPPORTUNITIES & THREATS: Opportunity to re-activate the building for use in a civic role, ideally as a place of education. At threat of insensitive or inappropriate alteration to accommodate a new, and possibly incompatible use.

RECOMMENDATIONS & GUIDELINES: Any adaptation of the early building to fulfil a new function should be carefully considered to retain the form and integrity of the structure. Avoid breaking up the existing volumes of classrooms and assembly hall by inserting office type partitions or the invasive alterations required for residential use.



TABLE OF SIGNIFICANCE

BUILDING NAME/S: Wynyard Mansions

SITE	Corner Milner & Herbert Roads, Sea Point East	ERF	1424 (portion unregistered erf 1675)
ARCHITECT/S:	Unknown	DATE	C1956
ORIGINAL USE:	Apartment building	CURRENT USE	Vacant

APPLICATION LEGISLATION

OLDER THAN 60 YEARS:	X	PREV. NATIONAL MONUMENT:	X
HERITAGE OVERLAY ZONE:	X	GAZETTE:	12214
TITLE DEED RESTRICTIONS:	-	S.27	X S.34



HERITAGE VALUES

RARITY:	M/L	ARCHITECTURAL:	M
REPRESENTIVITY:	M/H	SOCIO-HISTORICAL:	M
EXCELLENCE:	M	ENVIRONMENTAL/CONTEXTUAL:	M/H
INTEGRITY:	M	SCIENTIFIC/TECHNOLOGICAL:	-
AESTHETIC:	M	SLAVERY:	-
SYMBOLIC	L	CULTURAL:	L
ASSOCIATIONAL:	L	INTRINSIC:	M
AGE:	L	ARCHAEOLOGICAL:	-

HERITAGE ANALYSIS

SITE & STRUCTURE DESCRIPTION

Modernist four storey apartment building cut in to the sloped site with stepped back top level. Building form steps down to the historic site on its west boundary. Concrete frame with plastered brick infill; facebrick on front/Herbert road façade. Carefully designed with details that include a deep shadow gap beneath the raised plinth, elegantly shaped concrete bridge and repeating theme of "porthole" openings and details. Street-level floor is accessed off Herbert Road by the concrete bridge. Lower-street level apartments are accessed from the north/rear via catwalks and a central staircase. Flats include studio, 1 and 2 roomed, some with south/mountain facing balconies. Interior parquet tile and vinyl tile flooring, timber windows and doors (some broken), fire damage to part of 1 floor.

MAJOR ALTERATION/S:

Unknown, but no evidence in the fabric.

PHYSICAL CONDITION:

Neglected, retains original form and detail.

STATEMENT OF SIGNIFICANCE:

Wynyard Mansions is a carefully designed and detailed mid-century, small-medium scale apartment building. It sits comfortably in the immediate neighbourhood of late early 1900s villas. The materiality, lines and form mimic apartments of a similar period in the immediate neighbourhood, on Milner Road and Main Road. As such, it contributes to the historic layering, and the street character of this sector of Sea Point.

PROPOSED GRADING

Grade III C (within PHS)

OPPORTUNITIES & THREATS:

While the structure is in a neglected condition, it has the form and detail representative of the area and its period of development. The scale is sympathetic to the surrounds and there is the opportunity to renovate, upgrade and make fire-compliant. The location and size of the site is suitable for redevelopment, which presents a threat to the character of the immediate area.

RECOMMENDATIONS & GUIDELINES:

While demolition can be considered, the existing structure should serve as a design informant to the scale of a new structure to retain the grain of the built form in the neighbourhood. With that in mind, it is strongly recommended to retain, repair and upgrade the building as part of a site-wide redevelopment.



8.0. HERITAGE INDICATORS

8.1. Baseline Indicators (RSA, 2023)

The following indicators arise from the Baseline Study (RSA, 2023) and inform the development proposal.

8.1.1. Design Guidelines: Context Scale

Context scale: Opportunities

The receiving environment has a dense network of well-established commercial, recreational, educational and civic services. The character of the area is pedestrian-centric, family-friendly and residential. There is the opportunity to re-enliven the site so that it contributes to the environment through the (re-)introduction of residential, commercial, civic, health and educational facilities.

Context scale: Constraints

The receiving environment is identified as having sufficient heritage significance to be protected, in part, by the HPOZ. Any new intervention must respond appropriately to the layered, fine grain urban grid of the context in terms of height and massing.

Context scale: Indicators

- The placement of any new structures should respond to the existing urban grid of the sector above Main Road.
- New developments should respond to the fine grain and variegated scale and massing of structures in the neighbouring street blocks; avoid large massing.
- New developments should respond to the sloped topography of the context and “in-out” stepping between structures placed orthogonally as steps up the slope. This condition allows for a fragmentation of roof lines against mountain backdrop, which should inform any new development on site.
- Architectural language of new interventions should be informed by the neighbourhood.
- Materiality of new developments should be responsive to the existing character of the site.



Figure 67. View from Wynyard Mansions northwards (RSA, 2023)

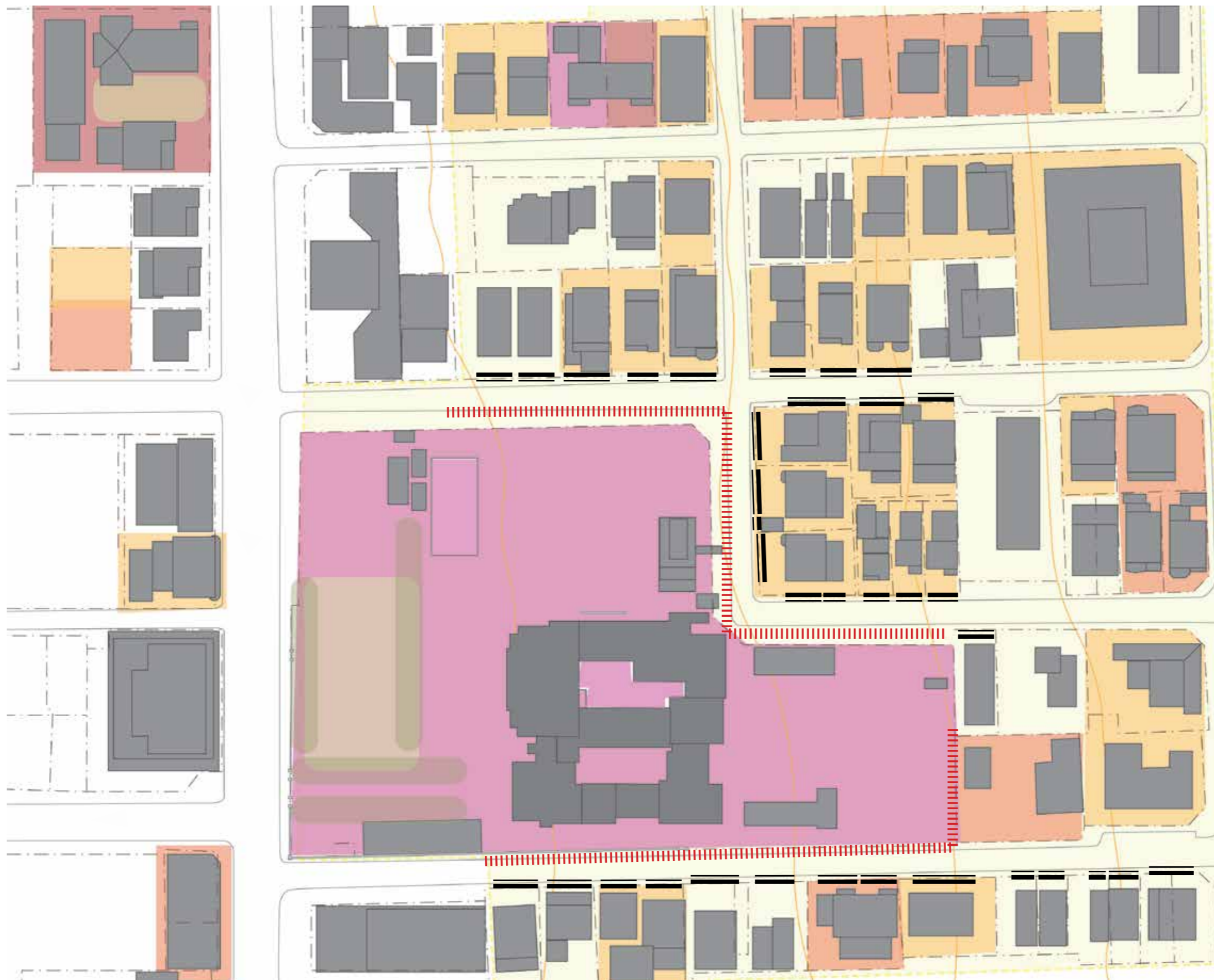


Figure 68. View east to Milton Road and across low-rise residential sector (RSA 2023)



Figure 69. View south to Herbert Road and across low-rise residential sector in immediate neighbourhood (RSA, 2023)

CONTEXT SCALE: DIAGRAMMATIC REPRESENTATION - HERITAGE INFORMANTS



HERITAGE INFORMANTS:

- Formal protections (HPOZ)
- High concentration of buildings over 60 years.
- Presence of buildings of Grade 3A significance
- Fine grain of historic urban landscape.
- Orthogonal placement in the historic urban grid.
- “Broken up” massing of the historical fabric.
- Character of historic structures: masonry dwellings, pitched hipped and gabled roofs, punched wall openings.

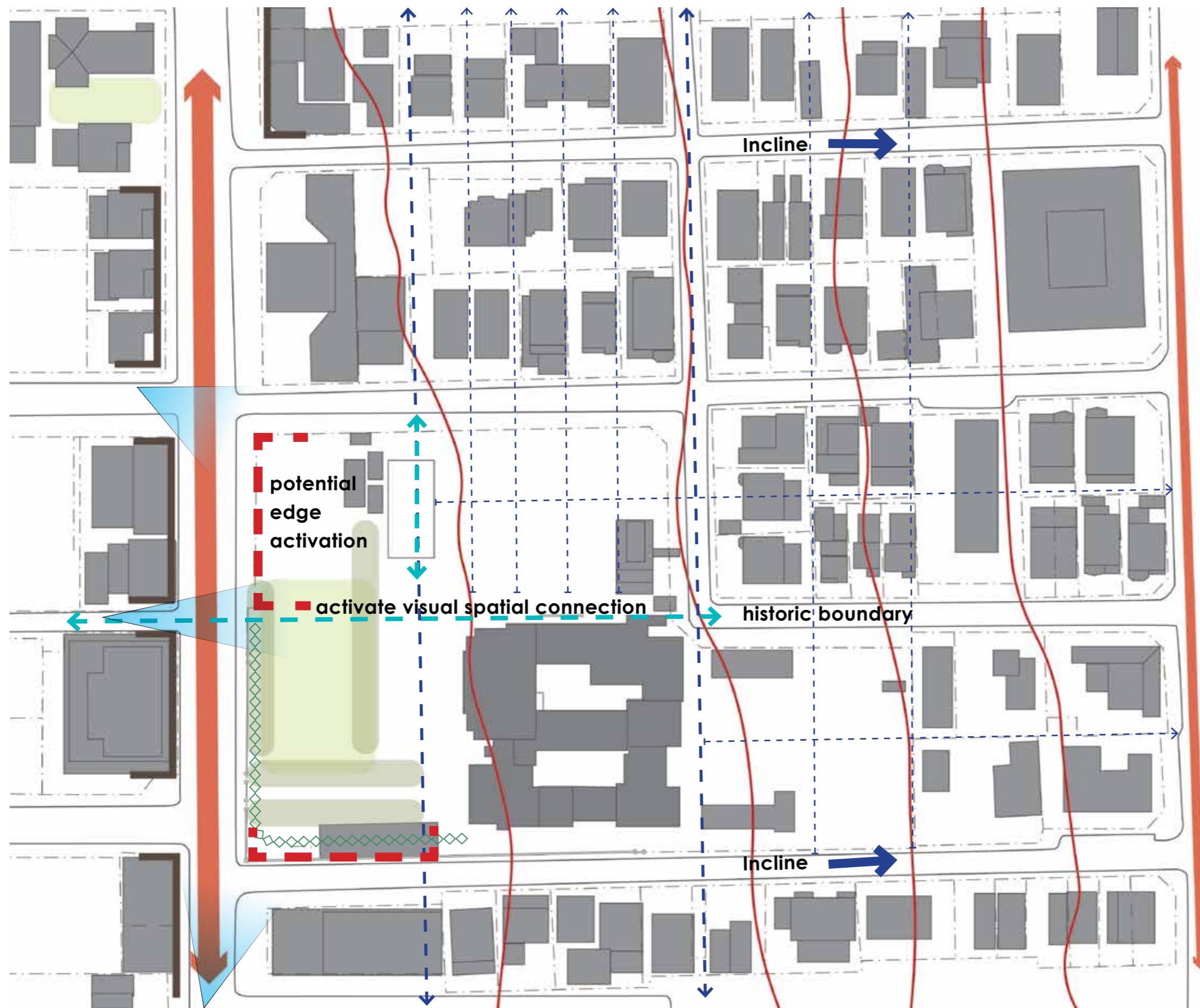
KEY

- PHS
- Grade 3A
- Grade 3B
- Grade 3C
- HPOZ
- Sensitive interface
- == Fine grain urban pattern
- Views to landmark

Figure 70. Site analysis context scale: heritage protected zones, sites of heritage significance that contribute to sense of place. (RSA, 2023)



CONTEXT SCALE: DIAGRAMMATIC REPRESENTATION - URBAN CONDITION INFORMANTS



URBAN INFORMANTS:

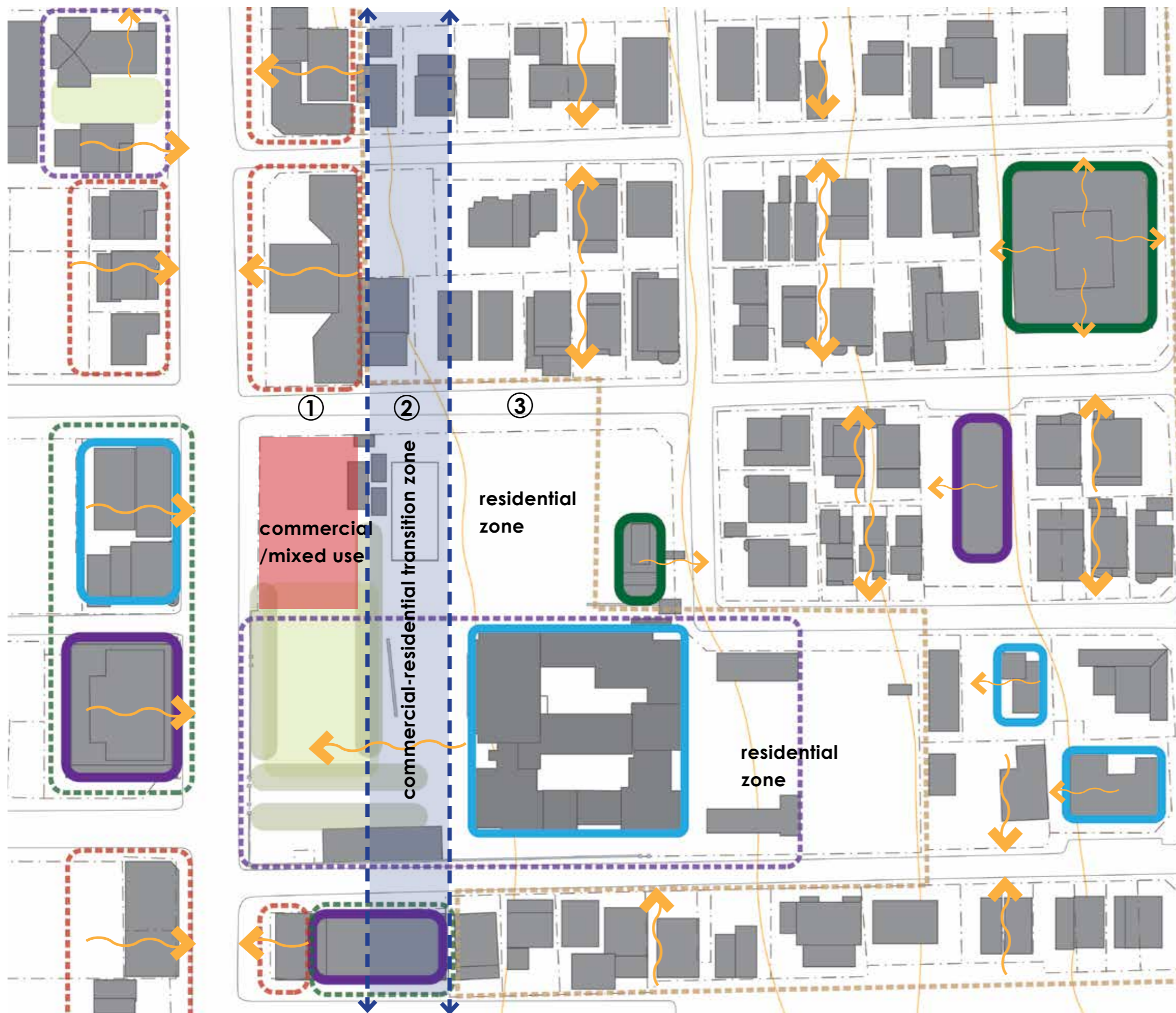
- High volume movement on Main Road, medium/high volume on High Level Road
- Low volume vehicle movement on connecting streets
- Main Road condition: active street interface
- Residential condition: fine grain urban grid
- High visibility corner and edge conditions
- Green edges to site
- +/-20m topographic incline between Main and High Level Roads
- Potential to reactivate visual spatial connections through the site
- Potential for urban engagement on Main Road edges through porous conditions

KEY

- Urban grid
- Urban engagement
- Active edges
- Movement
- Contours 5 meter
- Visual spatial connection
- Green edge condition
- Views

Figure 71. Site analysis context scale: characteristics of the historic urban landscape that contribute to heritage significance and sense of place (RSA, 2023)

CONTEXT SCALE: DIAGRAMMATIC REPRESENTATION - BUILT FORM INFORMANTS



BUILT FORM INFORMANTS:

- Character areas:
 - 1. High activity commercial, mixed
 - 2. Transitional zone
 - 3. Residential sector
- Main Road: mixed use commercial, residential, civic; tolerates taller structures, greater massing
- Transitional zone from active commercial zone to residential sector: mixed use and heights
- Low rise residential with isolated taller apartment blocks
- Residential area with lateral orientation; taller structures mixed orientation

KEY

HEIGHTS

- 20+ metres
- 15-20 metres
- 10-15 metres
- 1 & 2 storey

Orientation

FUNCTION

- Civic/religious
- Commercial
- Mixed use
- Residential

Figure 72. Site analysis context scale: Character areas determined by height, use and orientation of built infrastructure. (RSA, 2023)

8.1.2. Design Guidelines: Site Scale

School Building

NOTE: NOT PART OF DEVELOPMENT AREA, BUT KEY SITE INFORMANT

A: School building: Opportunities

The building lends itself to civic function such as, primarily, educational centre (children, youth, adult). It is potentially also suitable to facilities for community services (crèche, clinic). The building, with its large volumes, good light and amenable environment, is suitable for sensitive adaptation to a compatible use. The building has not been assessed in detail for this report.

The 2011 HIA identified portions of the building that could be removed to make way for a replacement extension. This report has established that the sports facilities, music rooms and old garage are all NCW, and can be demolished. Any demolition and new addition would necessarily need to prioritise the heritage significance of the existing structure and be designed to be sympathetic to the PHS.

B: School building: Constraints

Given the heritage significance of the structure, any adaptation to a new use or altered use requires careful consideration. There are constraints, imposed to change by the heritage significance of the earliest parts of the building and the 1935 front facing sandstone extension.

There are constraints on adaptation for universal access, or change of use to an incompatible function such as residential apartments or some commercial uses (such as supermarket).

C: School building: Indicators

- The front facade and prominent east and west side elevations should not be altered or visually blocked from public view.
- The building should be given a buffer area from any encroaching development. The buffer area can accommodate soft landscaping.
- Any alterations should be subject to a Section 27 heritage process to ensure that the significance of the structure is not negatively impacted.

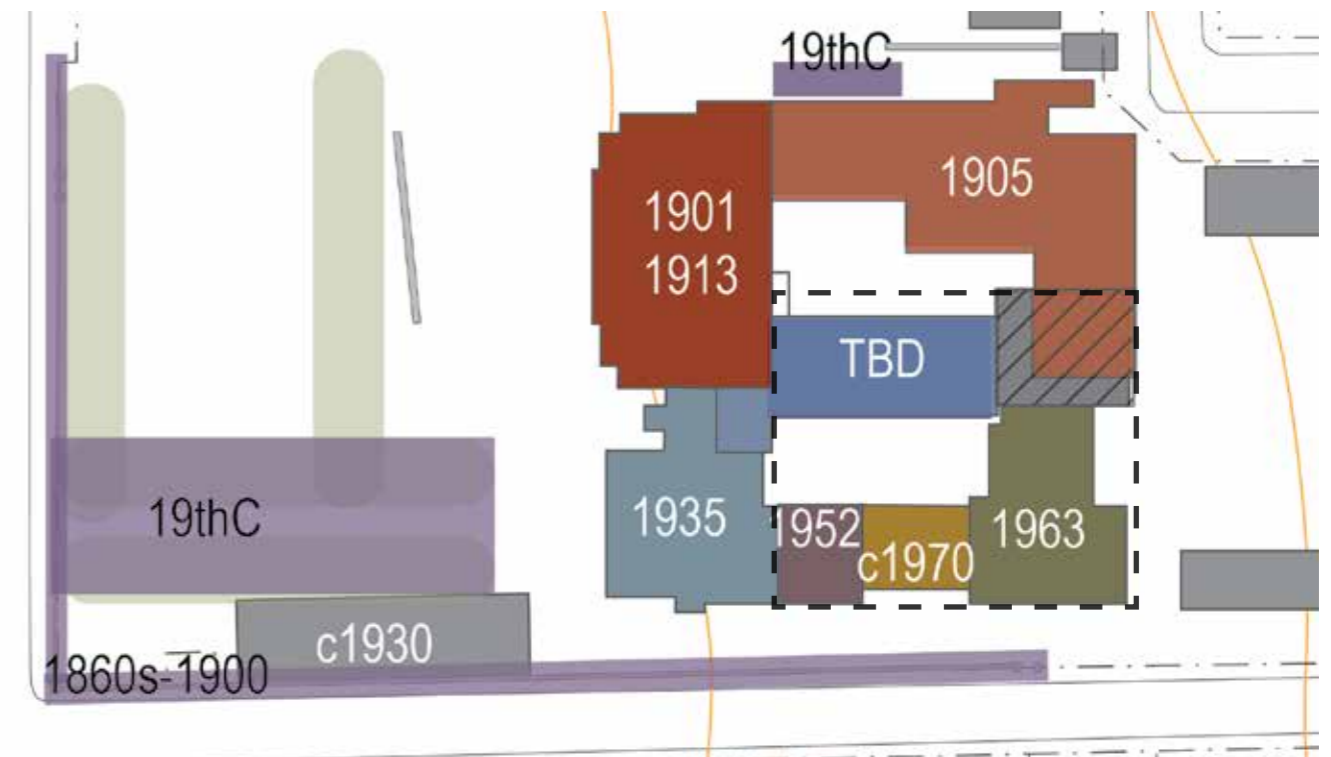


Figure 73. Dating the school building. The dashed outline box denotes the portion identified in 2011 for potential demolition. The school complex contains elements which are unclear and which need more detailed research. (RSA, 2023, after O'Donoghue 2011)

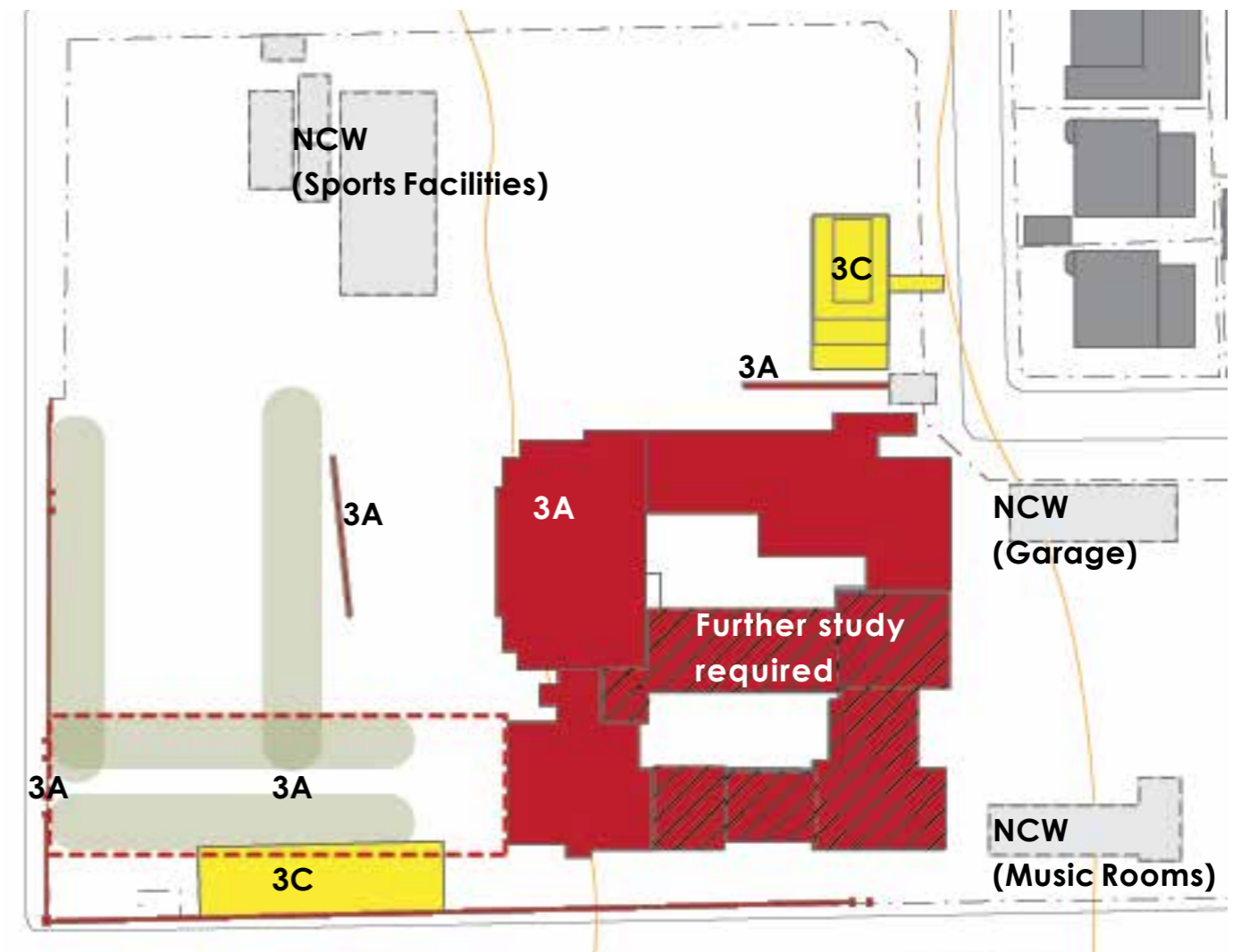


Figure 74. Site grading: informant to constraints (RSA 2023)

Wynyard Mansions

A: Wynyard Mansions: Opportunities

While the structure is in a neglected condition, it has the form and detail representative of the area and its period of development. The scale is sympathetic to the surrounds and there is the opportunity to renovate and reactivate the building.

B: Wynyard Mansions: Constraints

The current condition (concrete spalling), upgrade requirements, and adjustments to the floor plan with regards to fire compliance and universal access may make retention unfeasible, and also limits the integrated development across the site.

C: Wynyard Mansions: Indicators

- While renovation is possible, the overall and unified site development and most importantly the provision of social housing is better served by demolition of the building.

Other site structures

A: Other site structures: Opportunities

Other structures include the boundary wall and internal stone walling, the bike shed, music room, swimming pool stand and store rooms.

- The walling is most significant and conservation-worthy. The boundary walling can be celebrated for its landmark role, with original openings reactivated. Internal walling can be incorporated into landscaping.
- The scale, materiality and character of the bike shed contributes to the overall aesthetic. It is suited to adaptive reuse, particularly if activated as an interface with the public realm.
- All other ad-hoc structures may be demolished to allow for development.

B: Other site structures: Constraints

- The boundary wall limits visual access in to the site, and opportunities to activate the edges, particularly on Main Road up to the transition to the iron railing are limited.
- The location of the bike shed between the historic walling and the avenue, and very close to the main facade, means that its location does not lend itself to development.



Figure 75. Wynyard mansions from below/north, stepped down to the kindergarten building. (RSA, 2023)



Figure 76. Bike shed, with a vehicle to demonstrate scale. (RSA, 2023)

C: Other site structures: Indicators

- Retain the main boundary wall and reactivate openings.
- Investigate programmatic adaptive reuse of the bike shed to new function or multi-use purpose (such as covered parking, play/sports area, market place, other).
- Retain it as open and visually porous and retain character contributing elements such as structural supports and roof.
- All other structures may be demolished and do not inform redevelopment.

Landscape

A: Landscape: Opportunities

Opportunity to activate the green space as a visual feature and “breathing space” along densely developed Main Road.

B: Landscape: Constraints

The tree survey undertaken to identify important trees for protection and retention, and to monitor health and expected longevity, should inform the heritage component of a future landscape design plan.

C: Landscape: Indicators

- Retain the open park space between Main Road historic walling and the school building. It is compatible to activate the green space as a multifunctional space (recreational and parking) and introduce soft landscaping, planting and seating incorporating stone walling.
- Preserve and protect the wild fig tree avenue, and re-introduce the axial entrance as a central visual cone from Main Road and as a feature to arrival at school building.
- Preserve and protect mature trees identified for retention that frame the green space; remove trees that do not warrant retention, and if replaced, consider slender stemmed trees to allow better visibility of the school building from the Main Road.

8.1.3. Design Guidelines: New Built Form

A: New Built Form: Opportunities

The site has large portions of currently unconstructed land, much of it disused sports grounds and open parking. These are brownfield sites previously occupied by villas, and are highly suited to development.

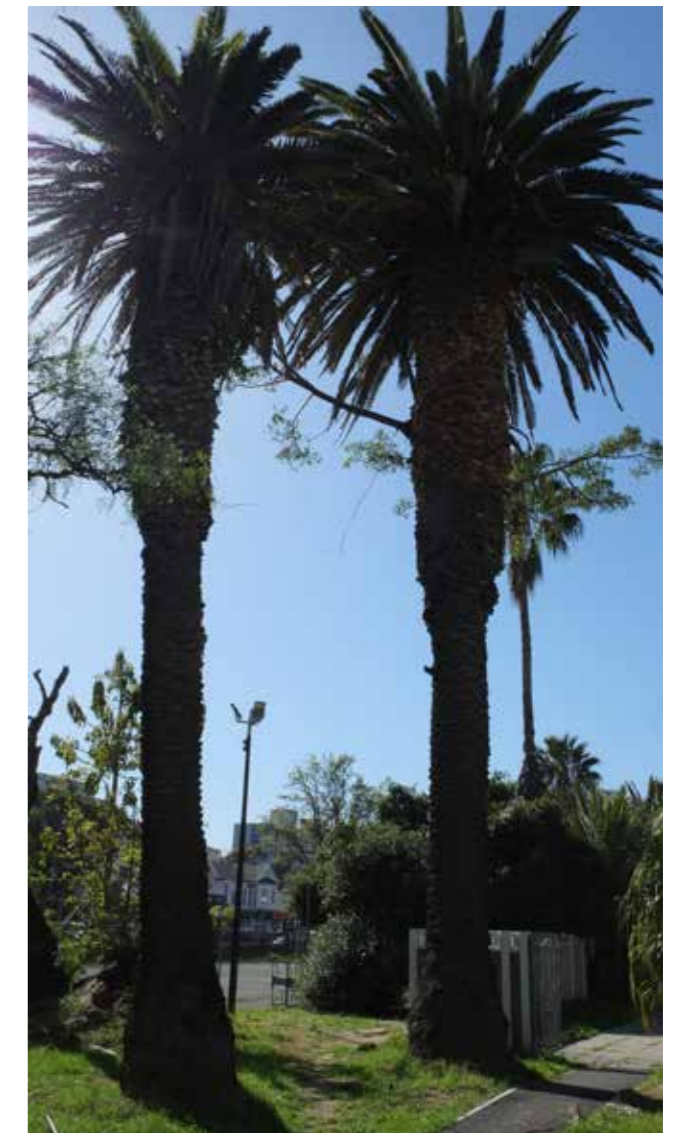


Figure 77. Avenue, statement trees, framed green space. (Image: RSA 2023)

B: New Built Form: Constraints

The historic school building should remain the centre piece of the site and the views from the Main Road to the front facade should not be interrupted.

Any new developments must be sensitive to the residential one- and two-storey context in terms of height and massing. Furthermore, new structures must comply with potentially restrictive development context imposed by the regulatory status of the HPOZ and the PHS.

C: New Built Form: Indicators

Placement:

- No new development between the school building and the Main Road, retain the green space.
- Retain a buffer around the perimeter of the school building - do not allow new development to abut the school.
- Orthogonal placement in response to historic site grid and wider urban grid.
- Respond to the site's character zones: commercial, transitional and residential.
- Allow the formation of pockets of space.

Access:

- Consider the introduction of "internal streets" that respond to the historic grid:
 - reintroduction of the Ellerslie road access off Milner Road;
 - extension of Herbert Road behind the school building to The Glen;
 - introduction of a longitudinal axis aligning Ellis and Heathfield Roads.
- Reactivate the historic entrance off Main Road
- Re-open and activate the historic pedestrian entrances.

Height and massing:

- Respond to the "micro" character areas of the site which are determined by the various road and interface conditions:
 - Main Road commercial realm interface: can tolerate greater height
 - three residential interface conditions: height limits between (e.g. 3-5 storeys), specific to the placement of the structure.
 - inward-looking garden interface: heights should step down to the garden area (e.g. 2-4 storeys)

- Heights should step down towards the school building (such as shown in the built form of Wynyard Mansions) and garden area.
- Building height can be mitigated by fragmentation of the roof line, set backs and step backs such as in the built form of Wynyard Mansions
- Building height can be mitigated by embedding/cutting into the considerable slope as seen in Wynyard Mansions, which can be used as a design informant.

Architecture and materiality:

- New development should respect the architectural language of existing and neighbouring plastered masonry structures.
- Respond to the architectural character of the area and the topography of the site.
- Use of variation in material, form and colour to break up massing and introduce visual interest and sense of finer grain.
- Use of balconies and inhabited roofs to allow visual interaction - street to building.
- Avoid large, uninterrupted expanses of glass and/or concrete.

Archaeology:

The area around the footprint of the original homestead may retain archaeological remnants and a 5-10m perimeter should be monitored by an archaeologist during ground-works.


**HIGH LEVEL DIAGRAMMATIC GUIDELINES FOR DEVELOPMENT:
1. DEVELOPABLE AREAS AND CHARACTER ZONES**




RESIDENTIAL ZONE:
Low rise, pitched hipped roof lines, fine grain, orthogonal urban grid, street orientation, "eyes-on-street", low-medium low masonry street edge condition with raised stoeps/ upper storey windows.

TRANSITIONAL ZONE:
Mixed character, mixed height, mixed massing; open spaces.

COMMERCIAL ZONE:
Mixed height, architectural styles, massing, uses. Active street edges, high volume, primary movement route.

 No go to new built infrastructure. Sensitive landscaping and multi-function uses to be tested.

 Buffer area side and back to historic buildings (incorporates stone walling and bike shed) can incorporate soft landscaping and spill.


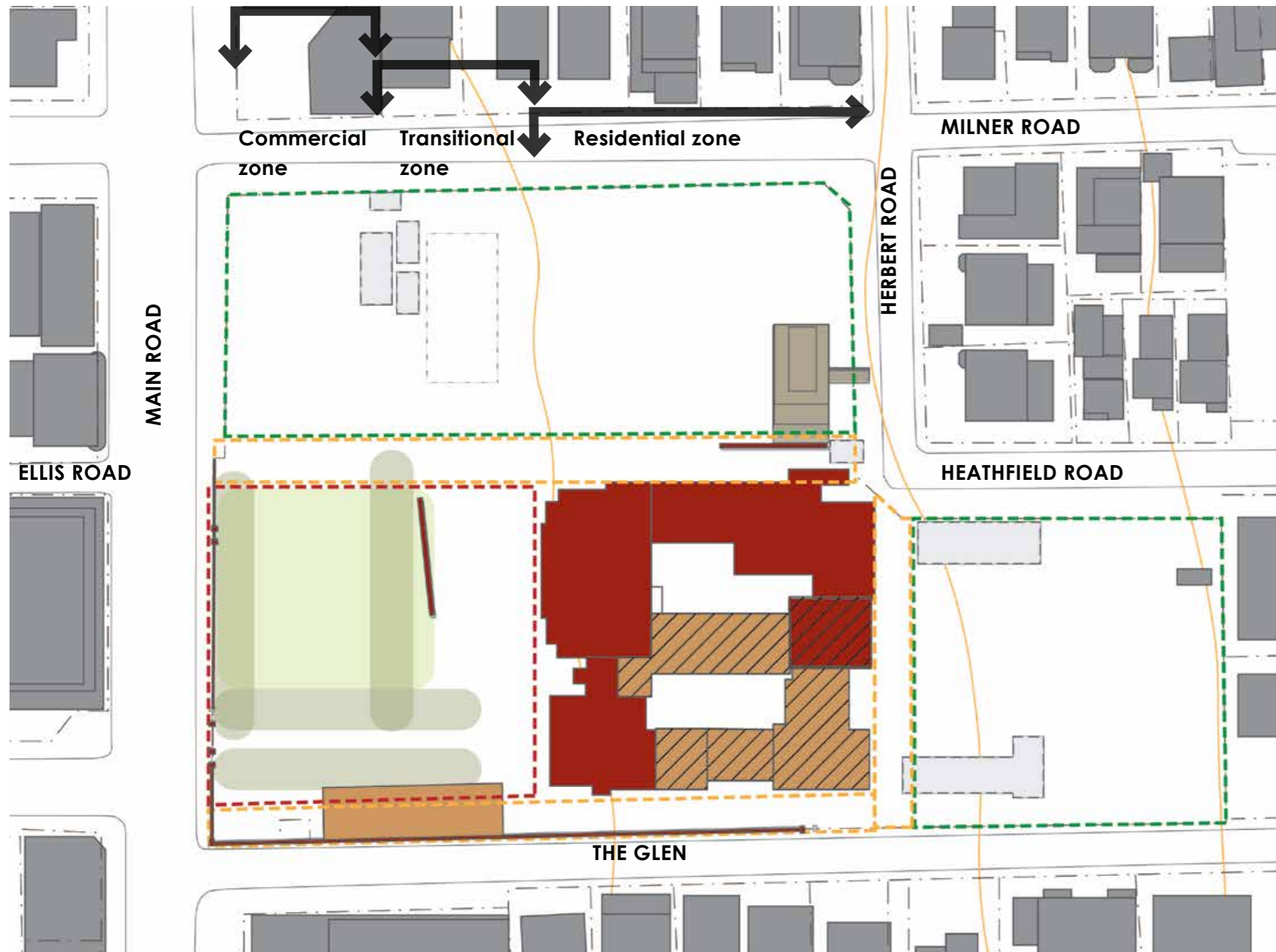
 Developable zones, responding to the character of each zone (residential, transitional and commercial), to design indicators, and within reasonable height and bulk constraints.

Figure 78. Overview of developable areas, buffer zones and areas that are "no go" to development (Google Earth Pro, 2023)

**HIGH LEVEL DIAGRAMMATIC GUIDELINES FOR DEVELOPMENT:
2. DEVELOPABLE AREAS AND SENSITIVITIES**



KEY

No Go to built infrastructure	Retain (hatched requires investigation)	Alteration/possible demolition
Buffer area: interface	Adaptation/reuse	Demolition likely possible
Developable area	Adaptation/reuse (requires investigation)	

DEFINITIONS

RETAIN:
Retain the portion of the historical structure that is of most significance and most sensitive to alteration and adaptation. Minimal/sensitive alterations to fulfil its as-built function or a compatible new use.

ADAPTATION/REUSE:
Structure or location not feasible for new development. Potentially suitable to sensitive repurposing to a new, compatible function. Bike shed is appropriate to site activation.

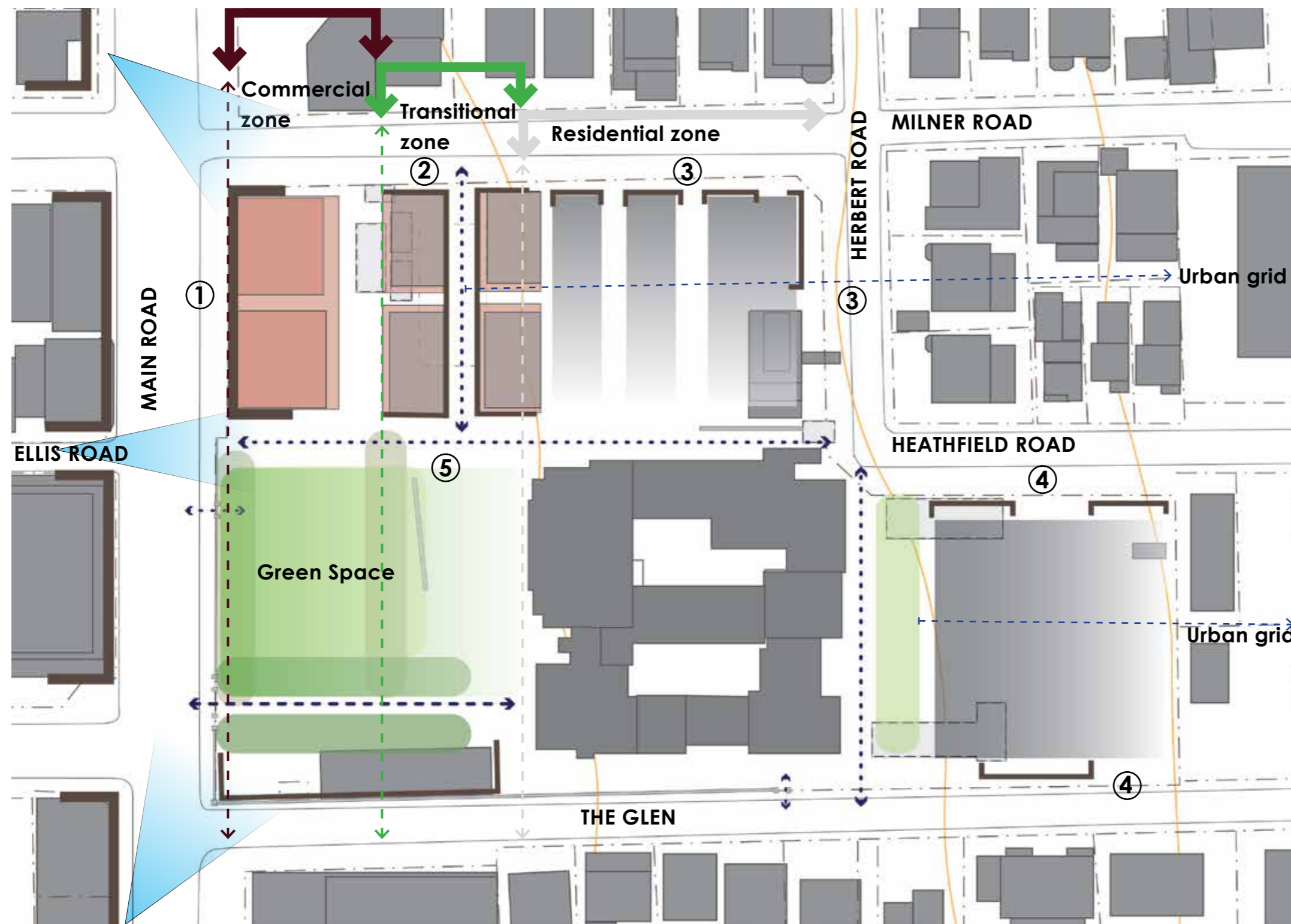
ALTERATION/POSSIBLE DEMOLITION:
Structure has some heritage significance and contributes to the whole. Subject to further feasibility studies, alteration, and even demolition can be considered, but any replacement would be subject to design constraints.

DEMOLISH:
Structures that do not contribute to the heritage significance of the site and can be demolished to make way for development.

Figure 79. Developable areas and attitude to existing fabric. (RSA, 2023)

**HIGH LEVEL DIAGRAMMATIC GUIDELINES FOR DEVELOPMENT:
3. DEVELOPMENT RESPONSE TO SITE AND CONTEXT**

DESIGN AND HEIGHT GUIDELINES
(for further testing)



KEY

- ↔ Access & internal movement
- ▬ Activated edges
- Commercial/mixed use

- Development intensity (represented by gradient)
- Landscape/park/parking
- Green screening edges



CONDITION 1:
Commercial interface, mixed use commercial; location of tallest structure, height to be tested; address the corner condition.

CONDITION 2:
Transitional zone/ lower scale commercial/residential with step down to park and school building; reactivate Ellerslie Road as active internal street.

CONDITION 3:
Residential interface; street breath allows for more height at Milner Road street edge with step down/set back to school building interface; fine grain edge condition to respond to facing grain. Topography allows 4 storeys at Herbert Road interface, or 5 with setbacks and step backs.

CONDITION 4:
Residential interface; mass and height to be tested.

CONDITION 5:
Height step back at garden interface or use internal street as buffer from building to garden.

Figure 80. Site activation and potential development areas (RSA, 2023)

8.2. Updated Indicators (RSA, 2025b)

This section synthesises the four informants analysed in Section 5.4.1 in order to unpack the constraints to development, the development opportunities presented by the site, and to provide heritage-based design indicators.



Figure 81. The receiving environment is identified as having sufficient heritage significance to be protected, in part, by the HPOZ. Any new intervention must respond appropriately to the layered, fine grain urban grid of the context in terms of height and massing (RSA, 2025b).

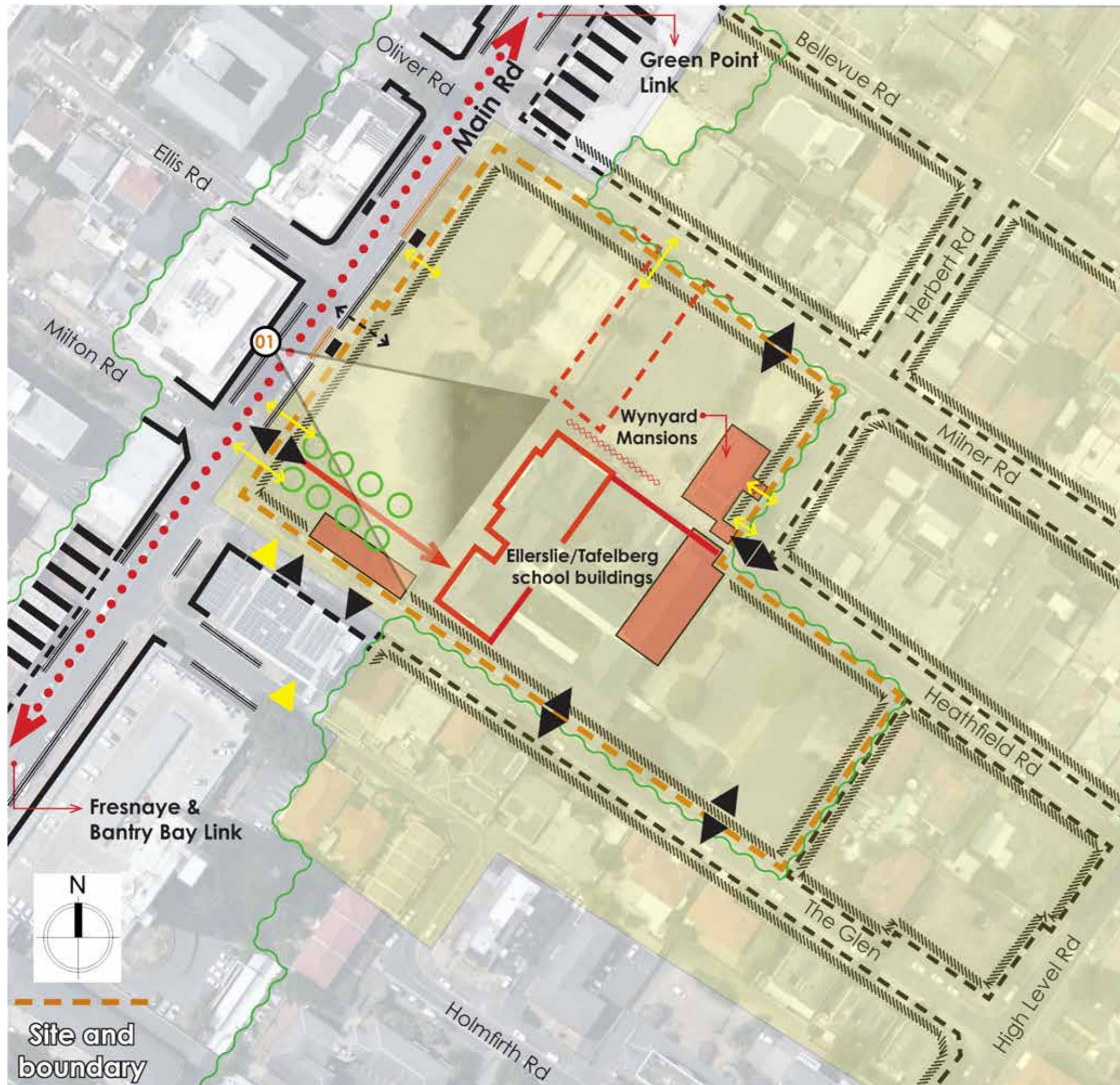


Figure 82. Vista of historic building and landscapes towards Lion's Head (RSA, 2025b)



Figure 83. Sense of place & continuity - Opportunity to use historic alignments (RSA, 2025b)

8.2.1. Constraints and Challenges Analysis



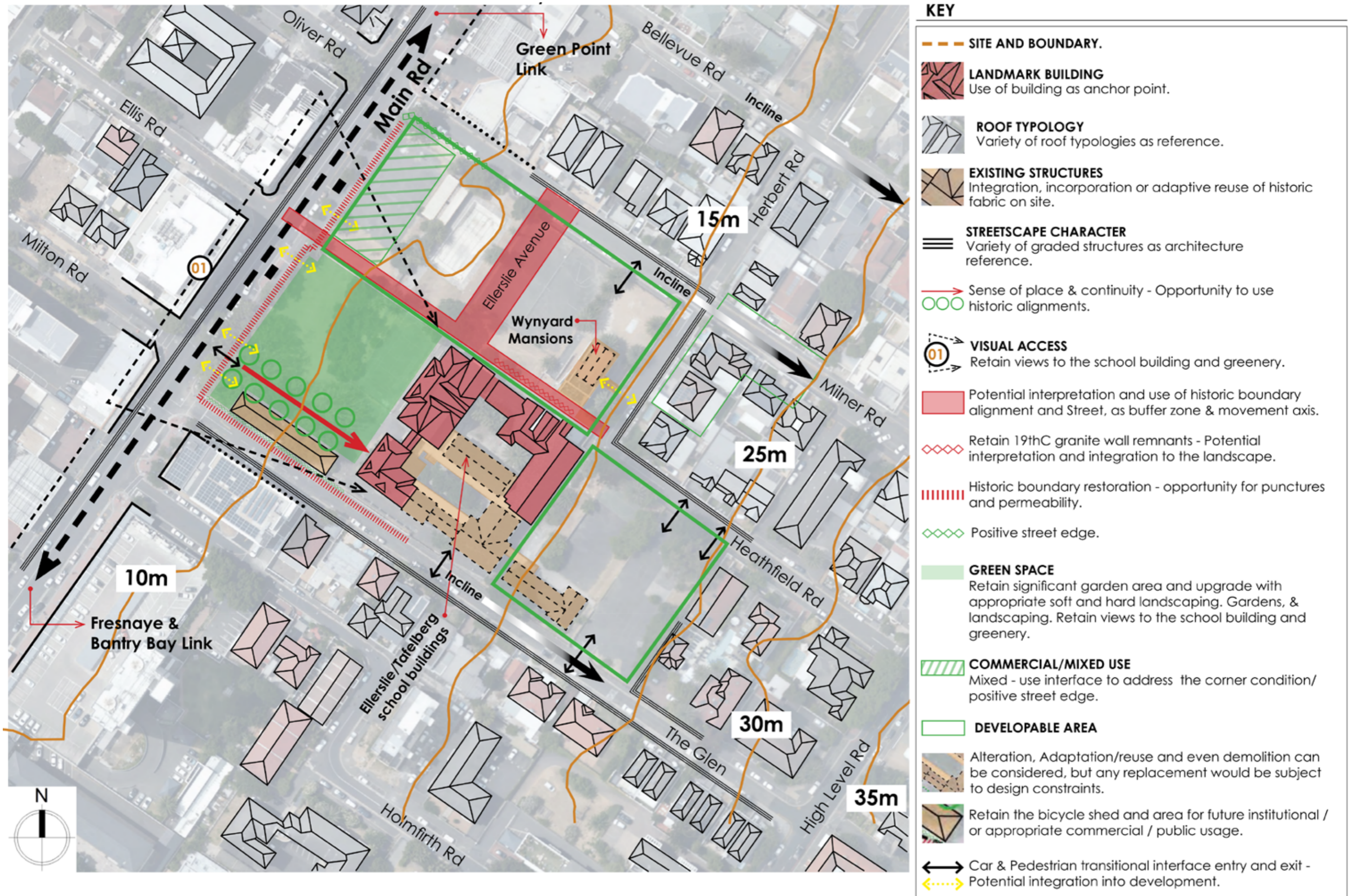
KEY	
Site constraints and challenges	
	Site and boundary
	Potential loss of historic built fabric
	Potential continued erasure of Ellerslie Road
	Potential continued erasure of remnants of C19th granite wall
	Glimpse view of the historic building and potential erasure of the historic green axis
PHYSICAL/BUILT STREET EDGE	
	Private and public domains separate, leaving an undefined area in between
INTERSECTING / OVERLAPPING DOMAINS	
	Historic fabric intersecting with the built street boundary edge, resulting in an expanded type of edge.
PHYSICAL/BUILT STREET EDGE	
	Private (significant historical built fabric) and public domains separate, leaving an undefined area in between.
	VISUAL ACCESS Boundary wall limits visual access into the site and significant historical built fabric.
Broader Context constraints and challenges	
ACTIVE STREET EDGE	
	Potential loss of historic built fabric & streetscape coherence due to development
OPAQUE STREET EDGE	
	Visually and physically impermeable no punctures offering scope of participation
PHYSICAL/BUILT STREET EDGE	
	Private and public domains loosely defined or separate, leaving an undefined area in between
UNDEFINED STREET EDGE	
	Private and public domains loosely defined with a vacant frontage, built edge setback and forecourt
	FORMAL PROTECTION (MPBL) Sea Point HPOZ
	FORMAL PROTECTION (NHRA) Provincial Heritage Site (PHS)
	Bus stop
	Car transitional interface entry and exit
	Drive-thru transitional interface entry and exit
	Pedestrian transitional interface entry and exit
	Pedestrian transitional interface entry and exit.
	Opening bricked up (unclear - detailed research required)
	On Street Parking. Parking embayments on both sides hindrance to active street edges
	Main Road (Minor Arterial)
	PT2 Zone characterised by parking reduction and promoting public transport use

8.2.2. Opportunities and Assets



KEY	
	SITE AND BOUNDARY
	LANDMARK BUILDING Use of building as anchor point
	EXISTING STRUCTURES Integration, incorporation or adaptive reuse of historic fabric on site
	ROOF TYPOLOGY Variety of roof typologies as reference
	STREETSCAPE CHARACTER Variety of graded structures as architecture reference
	Sense of place & continuity - Opportunity to use
	historic alignments
	VISUAL ACCESS Retain views to the school building and greenery
	Opportunity to use historic boundary alignment between Elis Rd & Heathfield Rd
	Memory recovery, & potential recovery of Ellerslie Avenue
	Restoring and reimagining C19th granite wall remnants
	Mostly intact historic boundary wall
	Active built street edge
	Undefined street edge
	OPAQUE STREET EDGE Visually and physically impermeable punctures for services and car interface. Potential for incorporating and activation
	Traffic calming node
	Bus Stop
	FORMAL PROTECTION (MPBL) Sea Point HPOZ
	Main Road (Minor Arterial)
	PT2 Zone characterised by parking reduction and promoting public transport use. Opportunity to strengthen pedestrian link and positive interface with the public realm
	Soft landscape
	Hard landscaping
	Artificial water body
	Terraced landscaping
	Movement axis
	Car transitional interface entry and exit
	Pedestrian transitional interface entry and exit

8.2.3. Heritage Informants Arising from Architecture and Context Study



Heritage Design Informants

Refer to diagram on page 88.

1. Use of landmark historic building as anchor point.
2. Variety of roof typologies as reference.
3. Integration, incorporation or adaptive reuse of historic fabric on site.
4. Variety of graded structures as architecture reference.
5. Sense of place & continuity - Opportunity to use historic alignments.
6. Retain views to the school building and greenery.
7. Potential interpretation and use of historic boundary alignment and Street, as buffer zone & movement axis.
8. Potential interpretation and use of historic boundary alignment and Street, as buffer zone & movement axis.
9. Retain 19thC granite wall remnants - Potential interpretation and integration to the landscape
10. Historic boundary restoration - opportunity for punctures and permeability.
11. Site coarse-grained conditions to respond to facing fine-grained conditions and Topography.
12. Developable zone to respond to the character of area - Retain significant garden area and upgrade with appropriate soft and hard landscaping. Gardens, courtyards & landscaping. Retain views to the school building and greenery.
13. Mixed-use interface to address the corner condition/ positive street edge.
14. Alteration, Adaptation/reuse and demolition can be considered, but any replacement would be subject to design constraints.
15. Potential integration of public transport infrastructure to enhance / pedestrianise the street
16. Retain the bicycle shed and area for future institutional / or appropriate commercial usage.
17. Car & Pedestrian transitional interface entry and exit - Potential integration into development.
18. Opportunity to strengthen pedestrian link and positive interface with the public realm.

8.3. Summarised Key Heritage Indicators

1. Respond to the pressing need for social and affordable housing in the area.
2. Promote mixed use and integrated development.
3. Re-enliven the site so that it contributes to the environment through the

(re-introduction of residential, commercial, civic, health and educational facilities.

4. Any new intervention must respond appropriately to the layered, fine grain urban grid of the context in terms of height and massing.
5. The placement of any new structures should respond to the existing urban grid of the sector above Main Road.
6. New developments should respond to the fine grain and variegated scale and massing of structures in the neighbouring street blocks; avoid large massing.
7. New developments should respond to the sloped topography of the context and "in-out" stepping between structures placed orthogonally as steps up the slope. This condition allows for a fragmentation of roof lines against mountain backdrop, which should inform any new development on site.
8. Architectural language of new interventions should be informed by the neighbourhood.
9. Materiality of new developments should be responsive to the existing character of the site.

School building: (Note: not part of the development area, but to be considered as a key informant in design due to PHS status of site)

10. An appropriate and compatible use and programme should be developed to allow for an integrate use of the site.as far as is practical and allowing for necessary security provisions.
11. The front facade and prominent east and west side elevations should not be altered or visually blocked from public view.
12. The building should be given a buffer area from any encroaching development. The buffer area can accommodate soft landscaping.
13. Any alterations should be subject to a separate heritage process to ensure that the significance of the structure is not negatively impacted.
14. The 1966 music wing, and 1984 garage are not conservation worthy and can be demolished to align with the proposed development..

Wynyard Mansions:

15. While renovation and reuse is potentially possible, the overall and unified site development (and most importantly the provision of social housing) is better served by demolition of the building.
16. The building does not possess enough architectural or social significance to warrant retention.
17. DocomomoSA should be afforded the earliest opportunity to access

Wynyard Mansions to record and document the building for public record.

Other site structures:

18. Retain the main boundary wall in front of the school and reactivate openings. The sections of historic 19thC stone walling on the Main Road northern end to be further investigated with a view to retaining and incorporating in the design, with localised adjustments to facilitate positive street interface.
19. Investigate programmatic adaptive reuse of the bike shed to new function or multi-use purpose (such as covered parking, play/sports area, market-place, other). Retain it as open and visually porous and retain character contributing elements such as structural supports and roof. (Not part of Development Area)
20. All other structures can potentially be demolished and do not inform redevelopment.

Landscape: Indicators

21. Retain the green space between Main Road historic walling and the school building. It is compatible to activate the green space as a multifunctional space (recreational and parking) and introduce soft landscaping, planting and seating incorporating stone walling.
22. Preserve and protect the wild fig tree avenue, and re-introduce the axial entrance as a central visual cone from Main Road and as a feature to arrival at school building.
23. Preserve and protect mature trees identified for retention that frame the green space; remove trees that do not warrant retention, and if replaced, consider slender stemmed trees to allow better visibility of the school building from the Main Road.

New Build Form

Placement:

24. No new development between the school building and the Main Road,
25. Retain the open green space.
26. Retain a buffer area around the perimeter of the school building
27. Do not allow new development to abut the main landmark building.
28. Orthogonal placement in response to historic site grid and wider urban grid.
29. Respond to the site's character zones: commercial, transitional and residential.
30. Allow the formation of pockets of space.

Access:

31. Consider the introduction of "internal streets" that respond to the historic grid:
 - reintroduction of the Ellerslie road access off Milner Road
 - extension of Herbert Road behind the school building to The Glen
 - introduction of a longitudinal axis aligning Ellis and Heathfield Roads as a NMT visual link
32. Reactivate the historic entrance off Main Road as it aligns to future use activation of the DSD portion
33. Re-open and activate the historic pedestrian entrances where feasible.

Height and massing:

34. Respond to the "micro" character areas of the site which are determined by the various road and interface conditions.
35. Main Road commercial realm interface: can tolerate greater height than remainder of site.
36. Three residential interface conditions: height limits between (3-5 storeys), specific to the placement of the structure.
37. Heights should step down towards the school building and garden area.
38. Building height can be mitigated by fragmentation of the roof line, setbacks and step backs such as reflected in the built form of Wynyard Mansions
39. Building height can be mitigated by embedding/cutting into the slope as seen with Wynyard Mansions, which can be used as a design informant.

Architecture and materiality:

40. New development should respect the architectural language of existing and neighbouring plastered masonry structures.
41. Respond to the architectural character of the area and the topography of the site.
42. Use of variation in material, form and colour to break up massing and introduce visual interest and sense of finer grain.
43. Use of balconies and inhabited roofs to allow visual interaction – street to building.
44. Avoid large, uninterrupted expanses of glass and/or concrete and commercial appearance.

8.4. Ellerslie School Integration

A key and persistent concern through the process has been the nature of the impact of sub-dividing the site, and the non-programming of the DSD portion of the site, essentially the historic school building complex itself. This aspect is one of the two key aspects noted in the HWC Further Requirements addressed in this updated HIA. The integration is highlighted here and also in Section 8.4 and Section 13.1 of this Updated HIA.

Although the school building portion will be developed separately and later, the site has been considered holistically and planned accordingly. The guidelines, informants and criteria illustrate the constraints that will apply moving forward and which will need to be embedded in any future planning for this portion of the site.

KEY INFORMING DIAGRAMS :

There are 4 key diagrams in the HIA which confirm this aspect and which are included in the summary:

Heritage Design Informants (RSA)

Development Fixes (Zutari)

Landscape Framework Plan (Square One)

Development Concept Plan (Zutari)

These diagrams are aligned and confirm:

- retention of the green space and trees in front of the school;
- retention of historic boundary walls on Main Road and The Glen;
- recognition of the old Ellerslie Road alignment;
- pedestrian way through the site with landscaped and built-form interfaces;
- layering of the site development in terms of height to recognise the historic building location and alignment.

Although the site will be developed/rehabilitated in two separate stages, the embedded guidelines and criteria will facilitate an integrated development.



Figure 84. Embankment to the rear of the school building to be a design informant (RSA, April 2026)



Figure 85. Historic walls on The Glen to be restored and integrated (RSA, April 2026)



Figure 86. The old bicycle shed presents opportunities for positive adaptive re-use as a facility or venue for public or institutional use given its prominence and outlook onto the garden area. (RSA, April 2026)



Figure 88. The tree avenue and main entrance of Main Road are to remain (RSA, April 2026)



Figure 87. The green open area and trees in the school forecourt to remain (RSA, April 2026)



Figure 89. The present interface condition between the front façade of the school and the fenced in tennis court is not positive and a more open landscaped interface condition and integration of required parking can be facilitated here (RSA, April 2026)



Figure 90. The current hard and fenced off forecourt can be positively enhanced and integrated (RSA, April 2026)



Figure 92. View of the interface condition along the pedestrian walkway (RSA, April 2026)



Figure 91. The concept embeds a pedestrian walkway running through the site east to west which will facilitate dialogue and interaction between the historic school building and the new housing blocks and their courtyards (RSA, April 2026)



Figure 93. View of the historic stone walling to be retained and incorporated in the pedestrian walkway and junction with Herbert Road. (RSA, April 2026)



Figure 94. View of the historic stone walling looking west which is to be retained and incorporated into the pedestrian walkway and interface (RSA, April 2026)



Figure 96. The Main Road historic walling is presently fenced off with a Clearview fence. A positive urban design street interface retaining the wall with public activities at street level behind this is envisaged in the concept diagram (RSA, April 2026)



Figure 95. View from the school overlooking the sportsfields to be developed as housing with tall apartment blocks in the middle distance (RSA, April 2026)



Figure 97. Present harsh barrier condition at the bend in Herbert Road to be enhanced by selective opening up an entry to the pedestrian walkway (RSA, April 2026)



Figure 98. Wynyard Mansions supported for demolition and redevelopment for housing although the retention of some elements could be considered by the architect at a future point (RSA, September 2025)



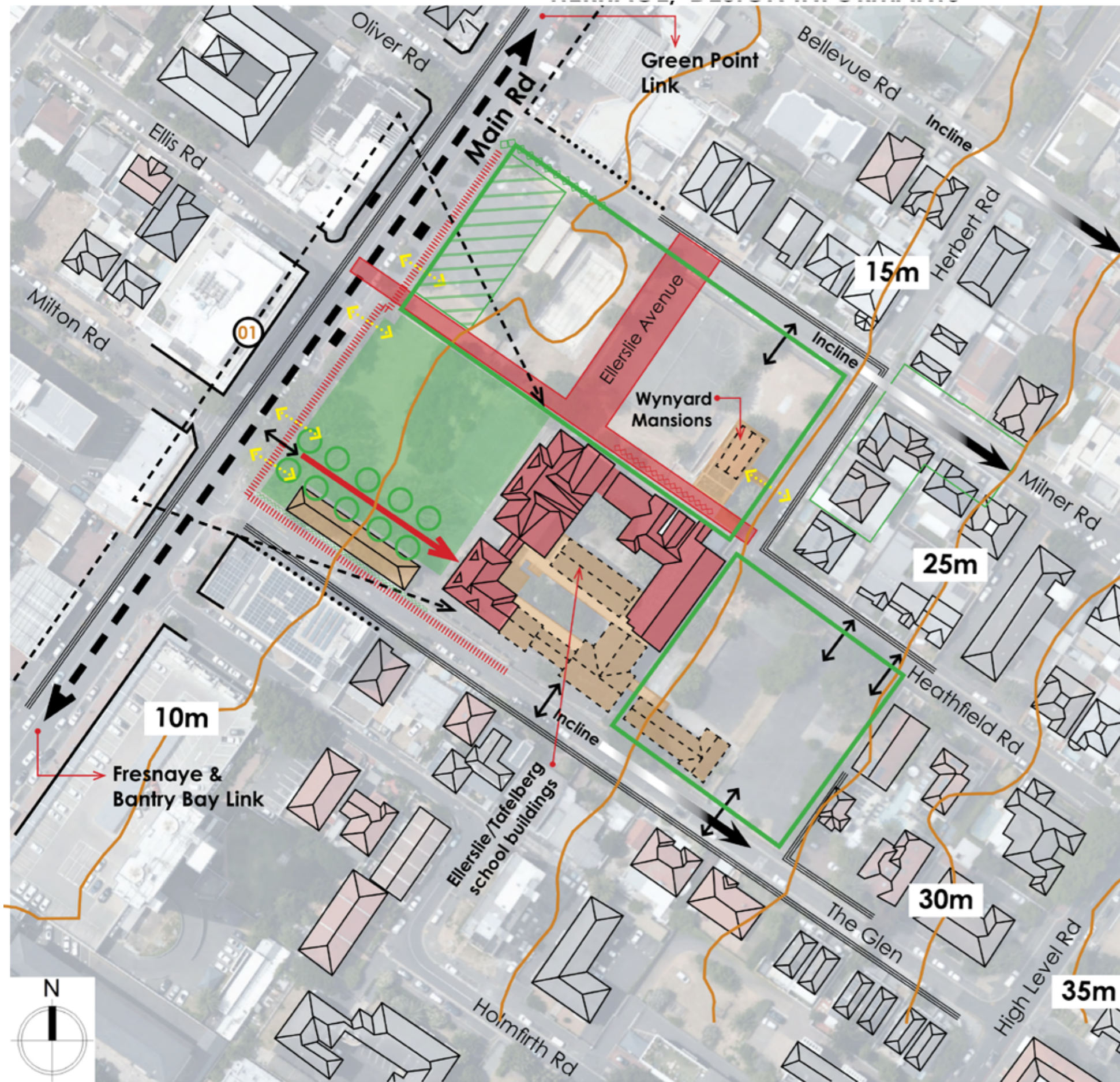
Figure 100. Main Road historic stone wall to remain with public space behind (RSA, September 2025)



Figure 99. Herbert Road streetscape with palm trees and Wynyard Mansions beyond to be redeveloped as a courtyard housing block (RSA, September 2025)



Figure 101. Remnant boundary walling and gates along Main Road and the historic walling and gates to the front of the school property are all to be retained and integrated (RSA, September 2025)



KEY

- SITE AND BOUNDARY.**
- LANDMARK BUILDING**
Use of building as anchor point.
- ROOF TYPOLOGY**
Variety of roof typologies as reference.
- EXISTING STRUCTURES**
Integration, incorporation or adaptive reuse of historic fabric on site.
- STREETScape CHARACTER**
Variety of graded structures as architecture reference.
- Sense of place & continuity - Opportunity to use historic alignments.
- ○ ○ historic alignments.
- 01 **VISUAL ACCESS**
Retain views to the school building and greenery.
- Potential interpretation and use of historic boundary alignment and Street, as buffer zone & movement axis.
- Retain 19thC granite wall remnants - Potential interpretation and integration to the landscape.
- Historic boundary restoration - opportunity for punctures and permeability.
- Positive street edge.
- GREEN SPACE**
Retain significant garden area and upgrade with appropriate soft and hard landscaping. Gardens, & landscaping. Retain views to the school building and greenery.
- COMMERCIAL/MIXED USE**
Mixed - use interface to address the corner condition/ positive street edge.
- DEVELOPABLE AREA**
- Alteration, Adaptation/reuse and even demolition can be considered, but any replacement would be subject to design constraints.
- Retain the bicycle shed and area for future institutional / or appropriate commercial / public usage.
- ↔ Car & Pedestrian transitional interface entry and exit -
- ⋯→ Potential integration into development.

Figure 102. Heritage Design Informants (RSA, 2026)

STREETSCAPE

Main Road Terrace:

MR1 Add tree line parallel to existing street trees to humanise the streetscape and provide summer shade/winter sun.

Residential Buffers (Milner, Herbert and Heathfield Roads):

R1 Street trees as buffer; shade in summer, sun in winter.

R2 Bioswale planters with weirs along slopes for edge buffering and passive irrigation.

LANEWAY

L1 Trees to provide human scale streetscape.

L2 Private edges – use wider planting for screening.

L3 Commercial edges – widen laneway to create spill-out spaces for dining and entertainment.

L4 Bioswale planters with weirs to manage level changes.

L5 Connection between commercial and social housing blocks with planted laneway for safety and activation.

**OPEN MARKET HOUSING PRECINCT:
BLOCK 1 COURTYARD**

S1 Incorporate heritage trees as a central landscape feature.

S2 Pergola/arbour structures for human-scaled outdoor rooms beneath apartments while ensure adequate solar access.

S3 Green roof condition with permeable surfaces to mitigate runoff.

**SOCIAL HOUSING PRECINCT:
BLOCKS 2 AND 3 COURTYARDS**

C1 Green roof above basement parking.

C2 Courtyard landscape with perimeter paths for apartment access. Central gathering spaces and children’s play areas. Quiet buffer zones integrated into courtyard edges.

C3 Emergency access routes designed as shared amenity areas (e.g. informal sports) while maintaining functionality.

C4 Green roofs as amenity and to mitigate runoff.

DSD SITE PRECINCT

D1 Private garden with protected heritage trees.

D2 Movement access route with permeable paver or reinforced gravel space.

D3 (Red rectangle) possible car parking forecourt with permeable paver or reinforced gravel space.

D4 Courtyard with permeable paver or reinforced gravel space to match D2 & D3.

D5 Low planting along edge to create barrier to DSD buildings.

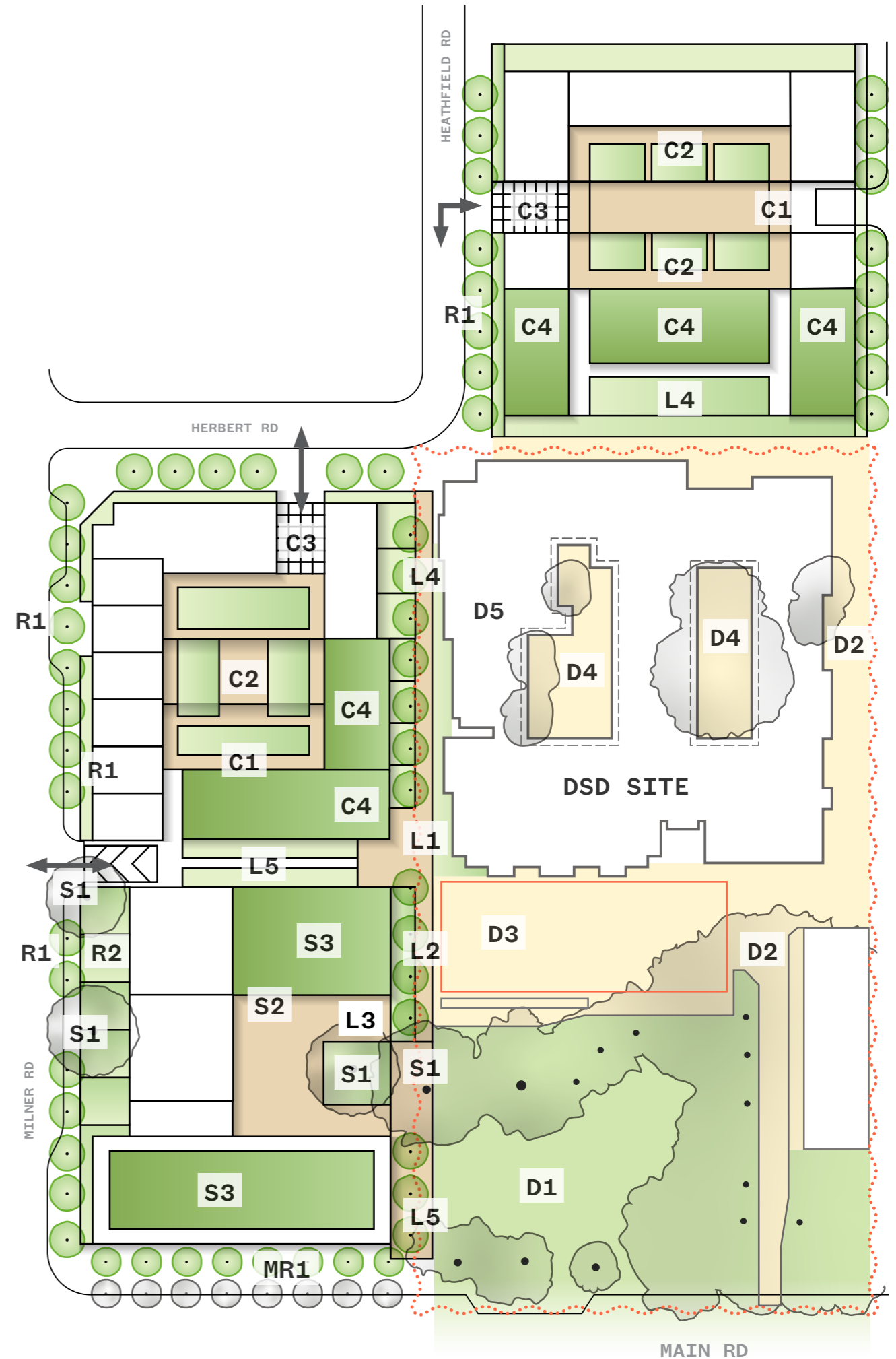


Figure 103. Integrated Landscape Framework Plan (Square One, 2026c: 23)

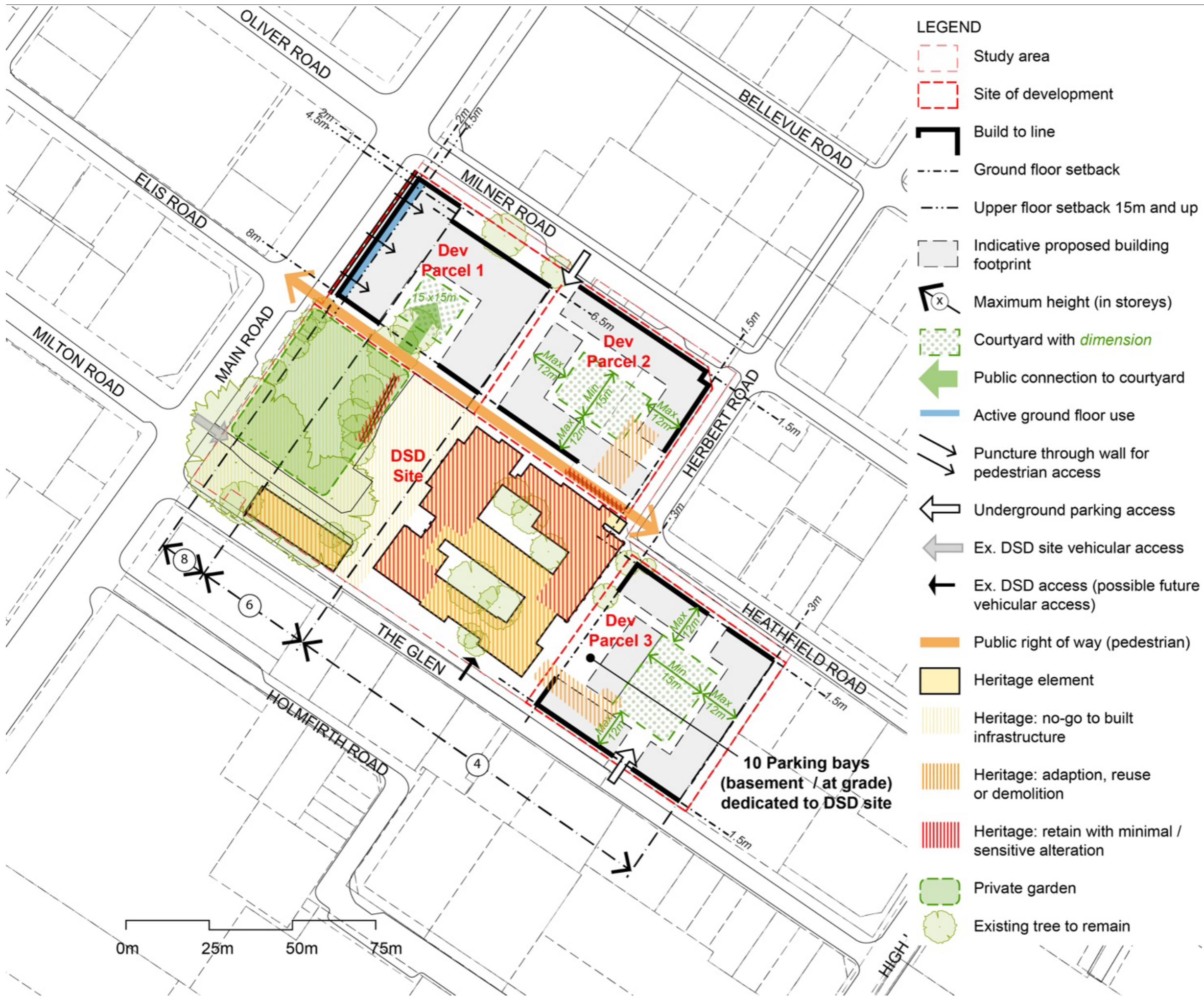


Figure 104. Development fixes (Zutari, 2026c: 42)

9.0. DEVELOPMENT PROPOSAL (APRIL/MAY 2026)

The proposed development is located at 353 Main Road, Sea Point on Remainder of Erf 1424. The erf currently measures a total of 16 351,3m² and it is proposed that three portions are subdivided off it to form the site of development. Proposed Subdivisional Portions 1, 2 and 3 are the subject of the site enablement activities addressed in this HIA and its specialist reports.

The proposal covers a total site area of 8647.5m² split over the three development parcels 1, 2 and 3. The remainder of the site, referred to as open space, is a combination of hard and soft landscaping.

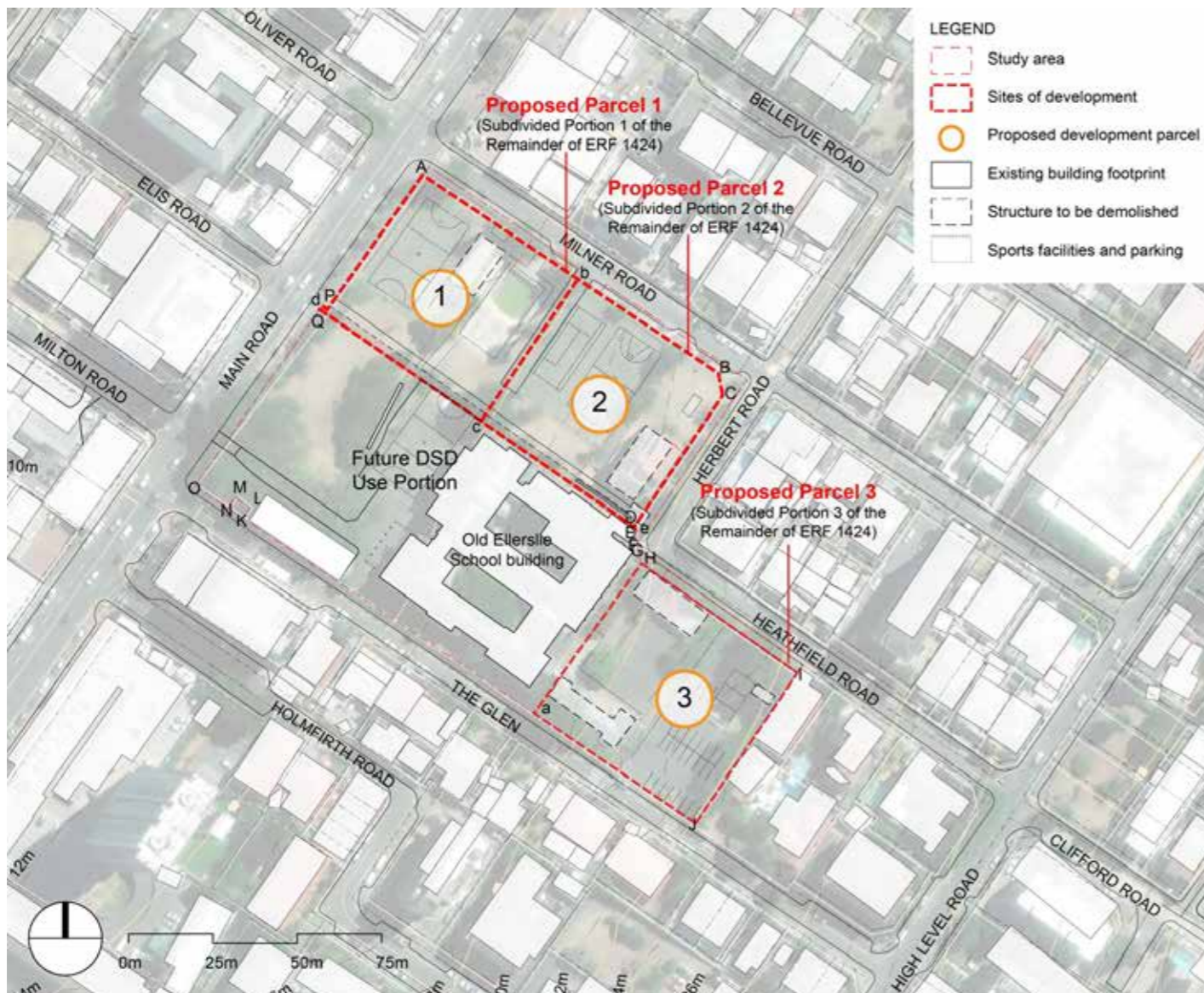


Figure 105. Development site with subdivisions indicated (Zutari, 2026c)



Figure 106. Development footprint (Zutari, 2026c)

9.1. Current Proposal (Revised February 2026, Updated April/May 2026)

The Revised Development Proposal, which remains unchanged from that submitted and considered by IACom on 11 March 2026, is reflected in the following sections for public commenting in terms of this Updated HIA.

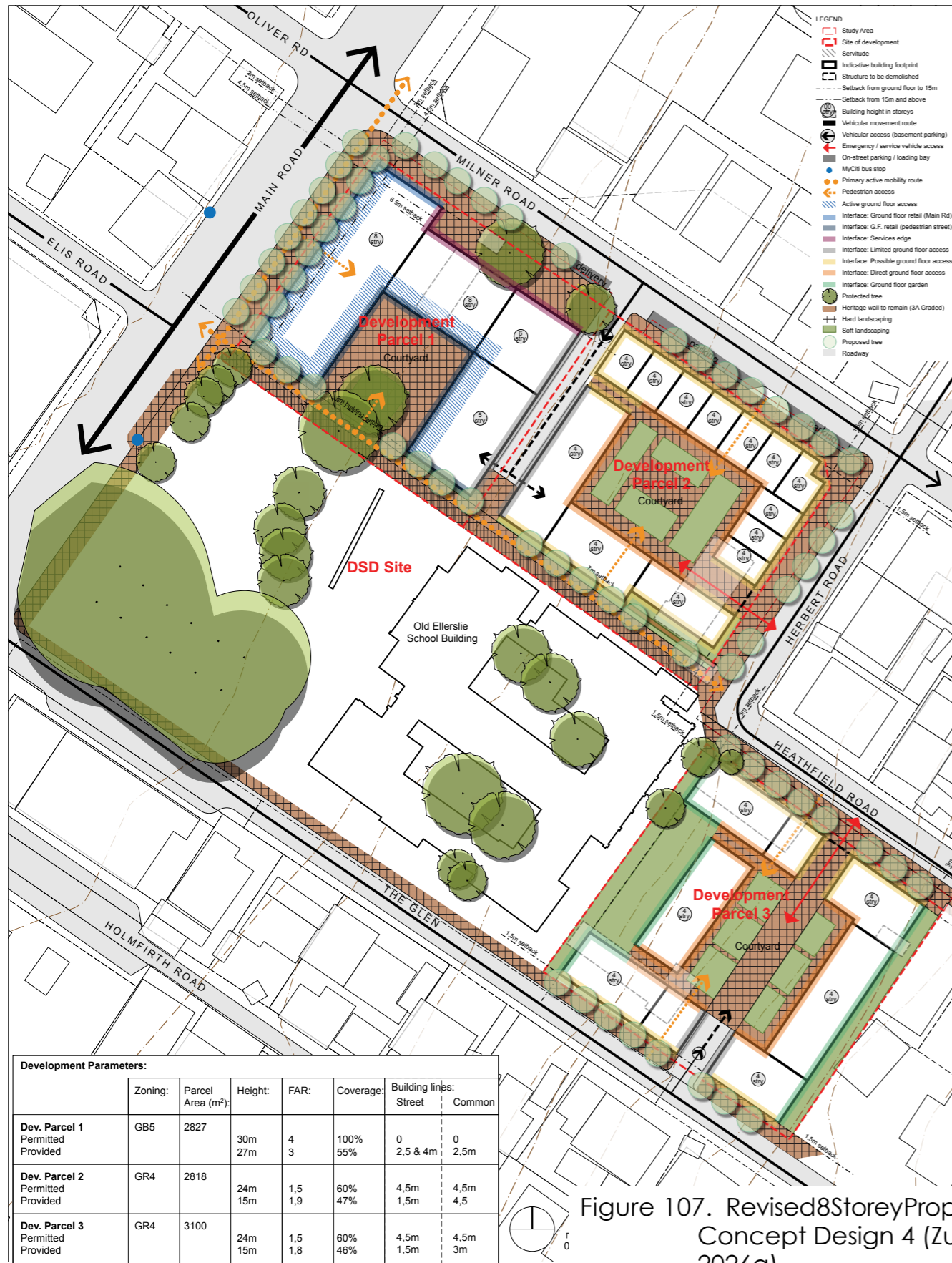
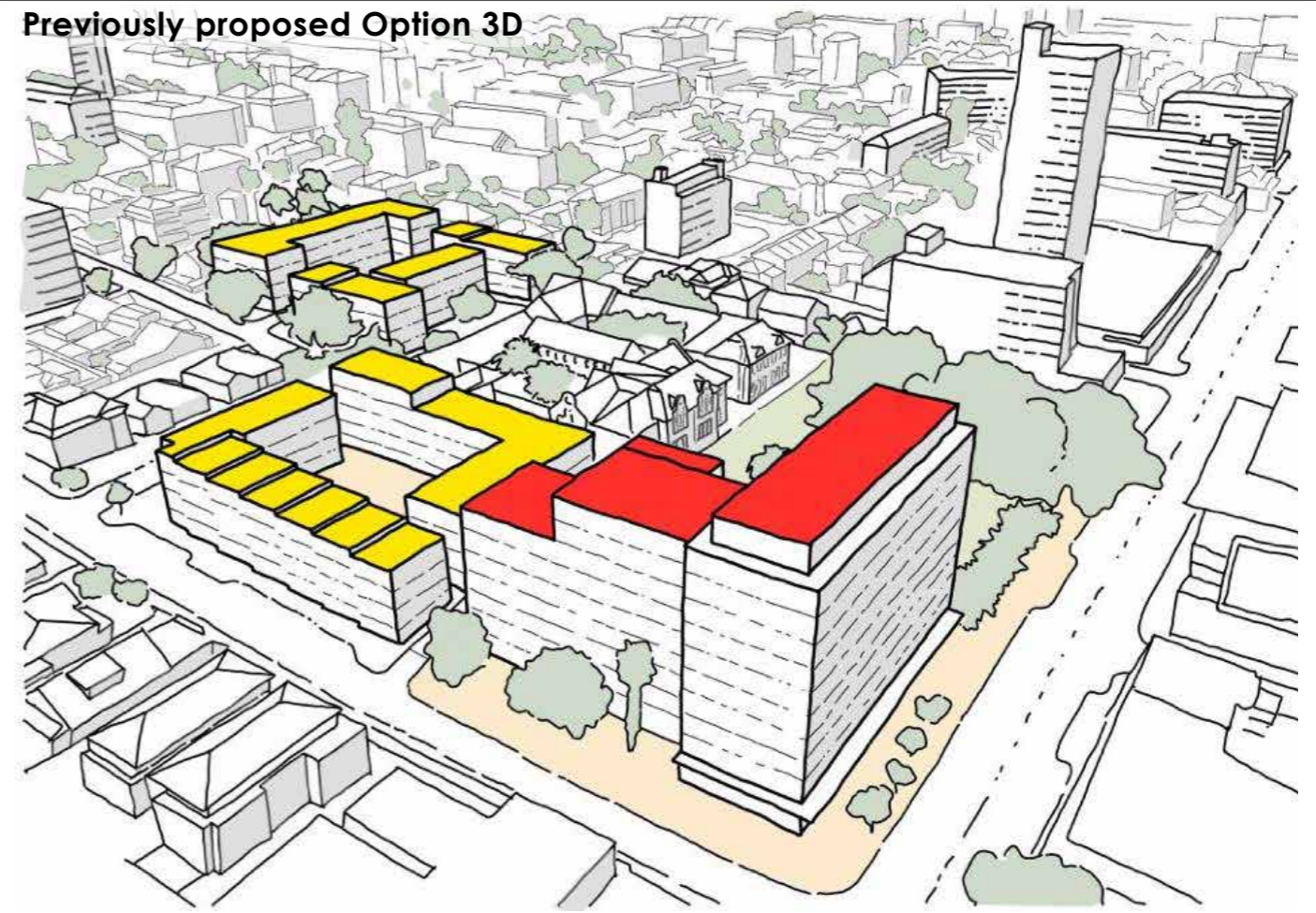


Figure 107. Revised 8 Storey Proposal: Concept Design 4 (Zutari, 2026a)

Previously proposed Option 3D



Revised proposed Option 4

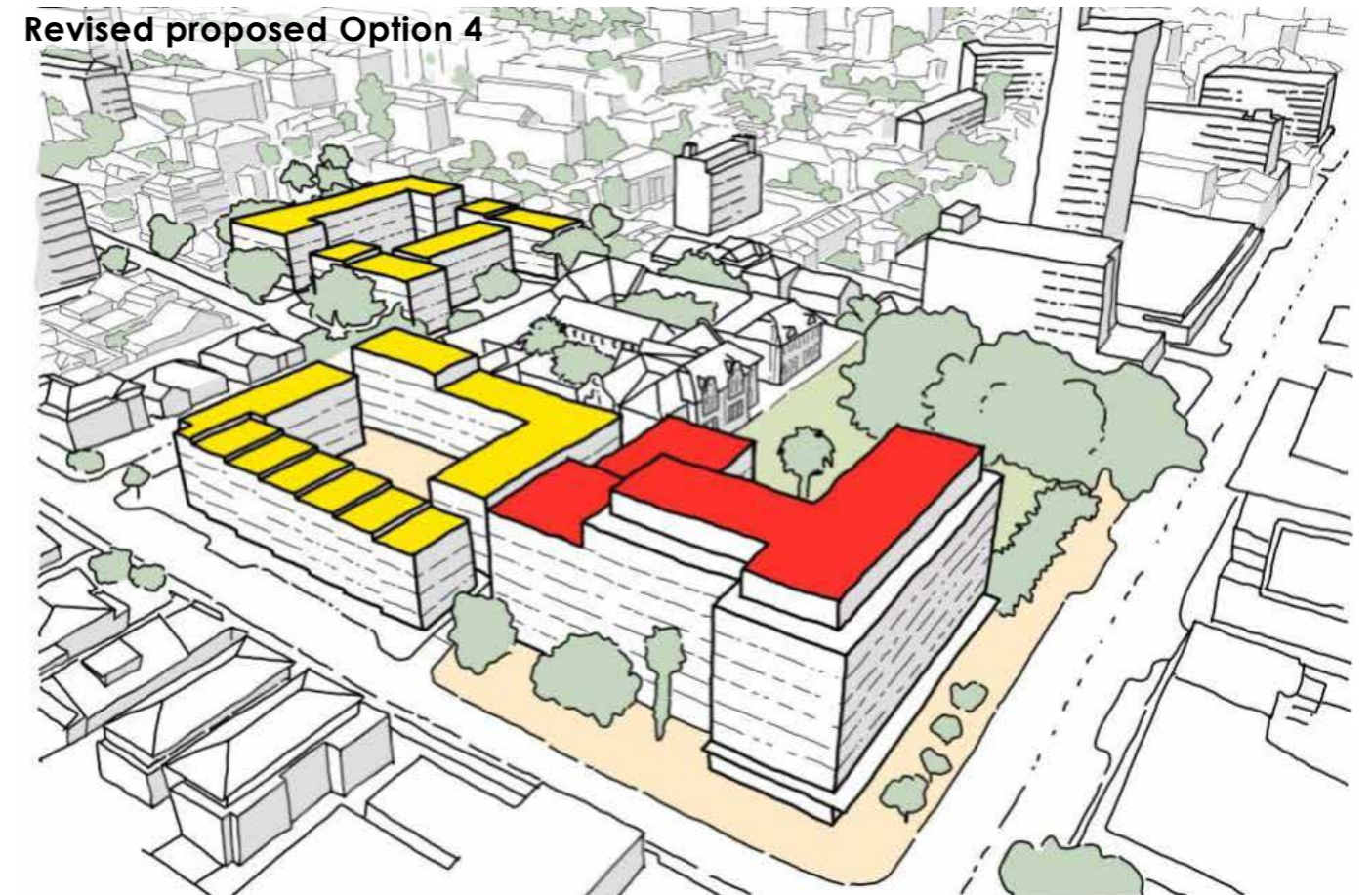


Figure 108. Comparison of Massing Models: 11 storey Concept Design 3D (top), and Revised 8 Storey Proposal Concept Design 4 (bottom) (Zutari, 2026c)

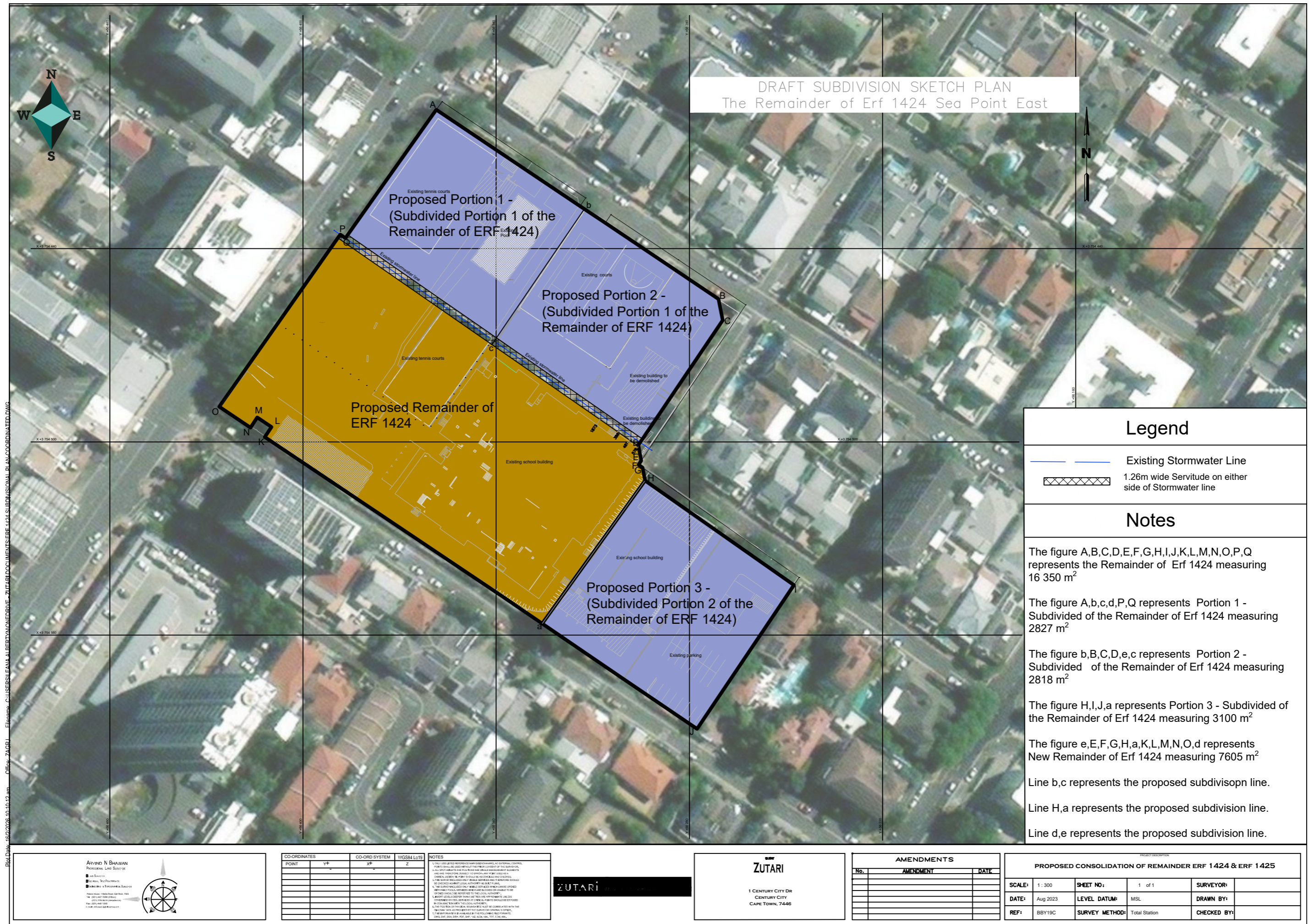


Figure 109. Proposed Subdivision Plan of Remainder ERF 1424/1425 Sketch Plan (Zutari, 2026a)

The maximum development potential in terms of number of floors and net building area, assuming an 80% efficiency ratio to calculate the nett building area, provides a total residential gross lettable area (GLA) of 16 065m², and a retail GLA of 1 200m². Based on this calculation, a total of approximately 440 residential units are possible for Option 4. A 50/50 split between Social Housing and Open Market units is proposed, with a minimum of 200 units available for each.

The eight storey building is to be located on the corner of Main Road and Milner Road along the Development Corridor as indicated in the MSDF. The development then steps down to four storeys towards High Level Road in response to the finer grain, low rise residential context there. The four storey buildings follow the topography, and have stepped floor plates and roofscapes to achieve this.

Table 2. Coverage breakdown

Dev. Ptn.	Dev. Ptn. (m ²)	Proposed building footprint (m ²)	Coverage
Parcel 1	2765	1532	55%
Parcel 2	2782	1298	47%
Parcel 3	3100,5	1441	46%

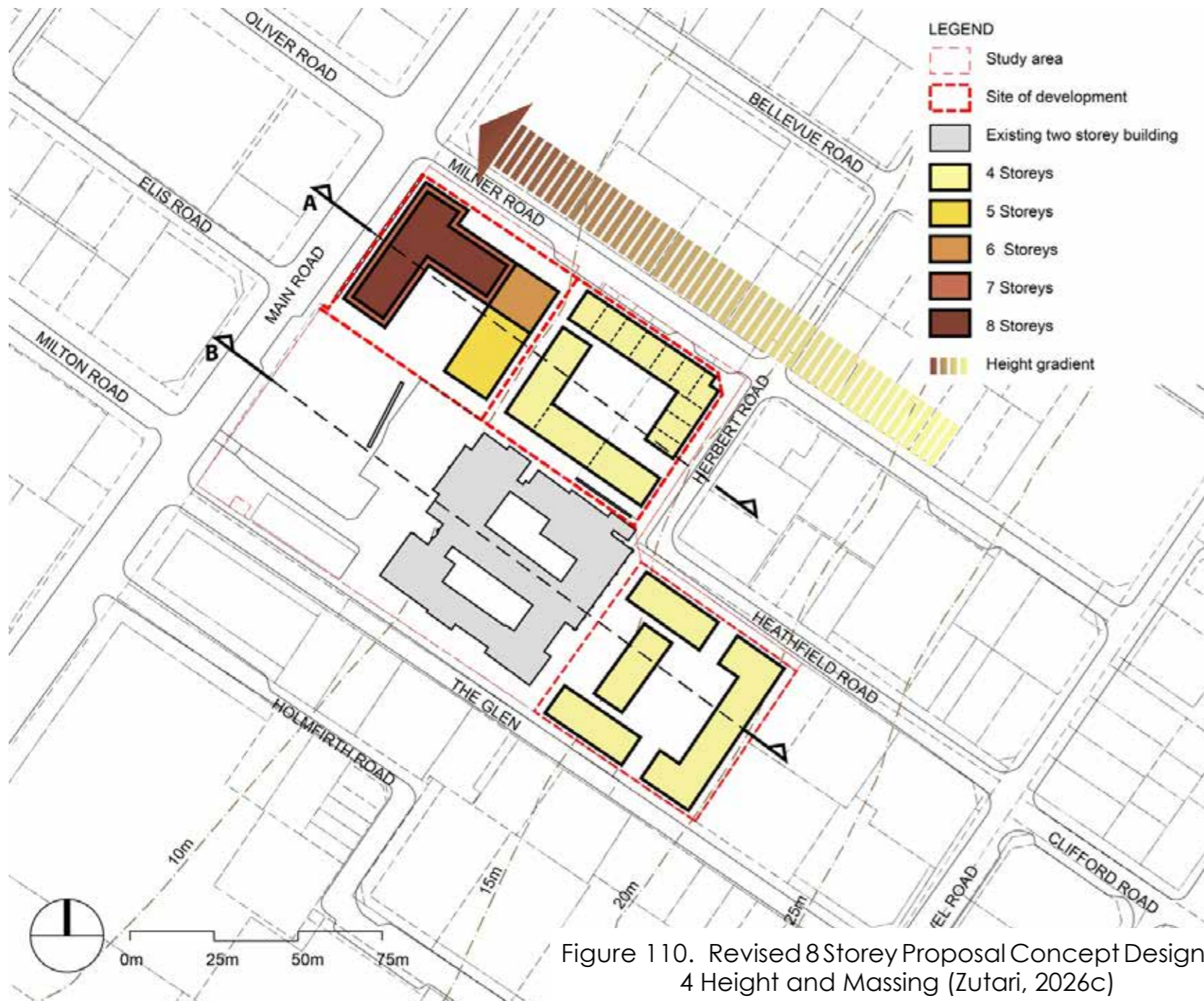


Figure 110. Revised 8 Storey Proposal Concept Design
4 Height and Massing (Zutari, 2026c)



Figure 111. Revised 8 Storey Proposal Concept Design 4 Sections (Zutari, 2026c)

The site is located in a PT2 zone, and no parking is required in terms of regulations pertaining to that zoning. Parking is, however, to be provided in the basement levels, at a ratio of 0,5 bays per residential unit, with a total of 220 parking bays required over the three development blocks; a further 10 bays on development parcel 3 need to be provided for the Department of Social Development site. No at-grade parking is provided due to the limited development space, the need for social space and the aim of maximizing available development area. .

Other than the emergency access, Option 4 would not have any at-grade vehicular access. There were to be two basement ramp access points to the development, one per development parcel. Development parcel 1 is accessed off Milner and development parcel is 2 is accessed off The Glen.

Pedestrian entrances to access the ground floor and the residential floors above, are encouraged along Main Road to ensure the edge is active and responds to its context of active ground floor edges. A public right of way pedestrian street is proposed to run from Main Road, through the centre of the site towards Heatherfield Road. The development will be highly accessible to both MyCiTi and Taxi Routes, with a MyCiTi station directly adjacent to the development with several more within a 20-minute walk from the site.

The parent erf has an established park-like green open space that is currently integrated with the proposed subdivided parcels 1 and 2 of the site. However, this park will be fenced off from the proposed development and form part of the social facilities site. The intention is that the development visually integrates with the green open space through a courtyard facing the park.

The courtyards were envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access are provided.

It is proposed that a public right of way pedestrian street is established over the existing stormwater servitude that runs from Main Road, through the centre of the site towards Heatherfield Road. This allows for additional pedestrian entry points to the development from the southwest. This link also serves a public function, by linking the promenade with Signal Hill, reinforcing the mountain to sea connection

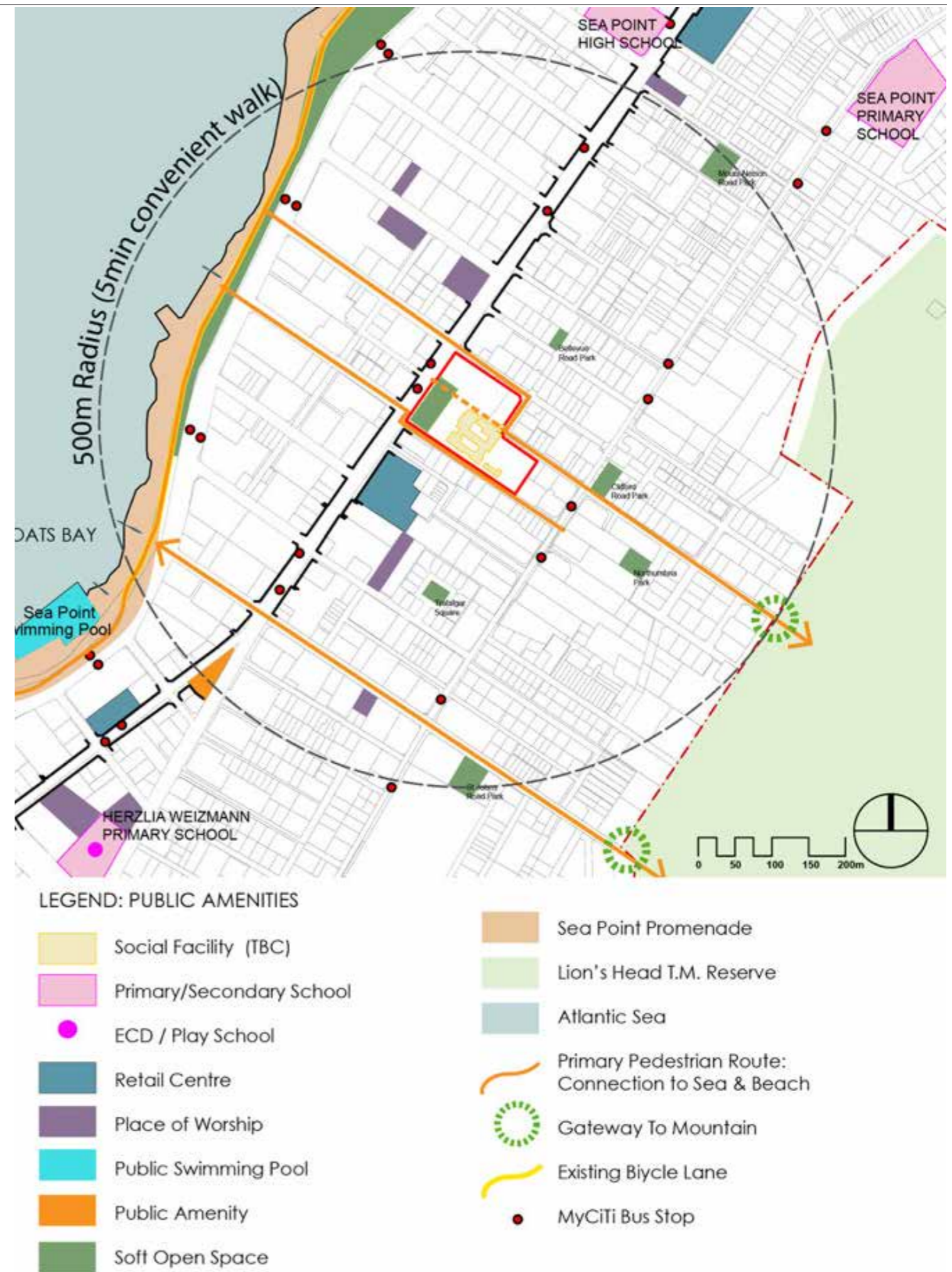


Figure 112. Local public amenities (Zutari, 2026c)

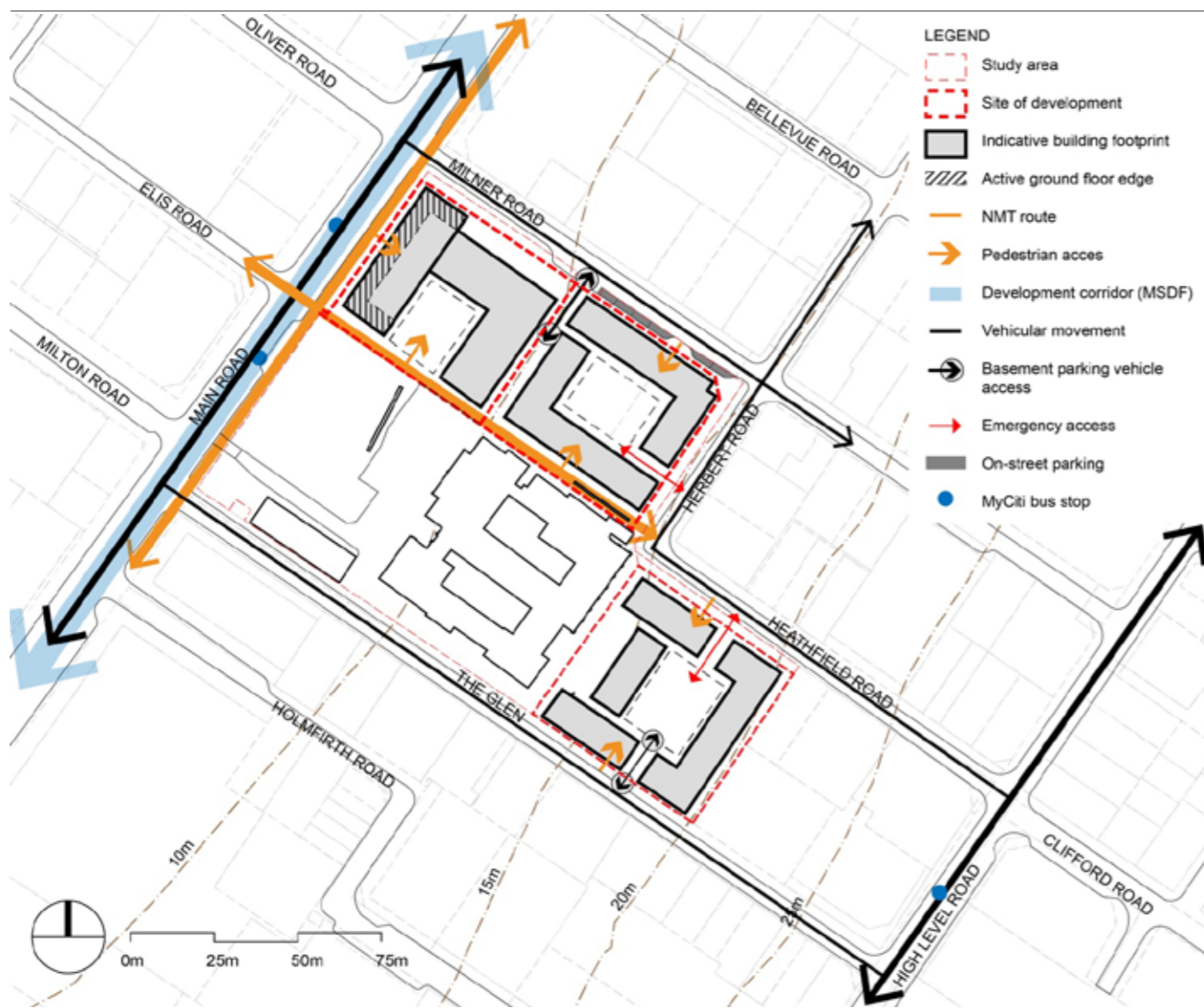


Figure 113. Access and movement (Zutari, 2026c)

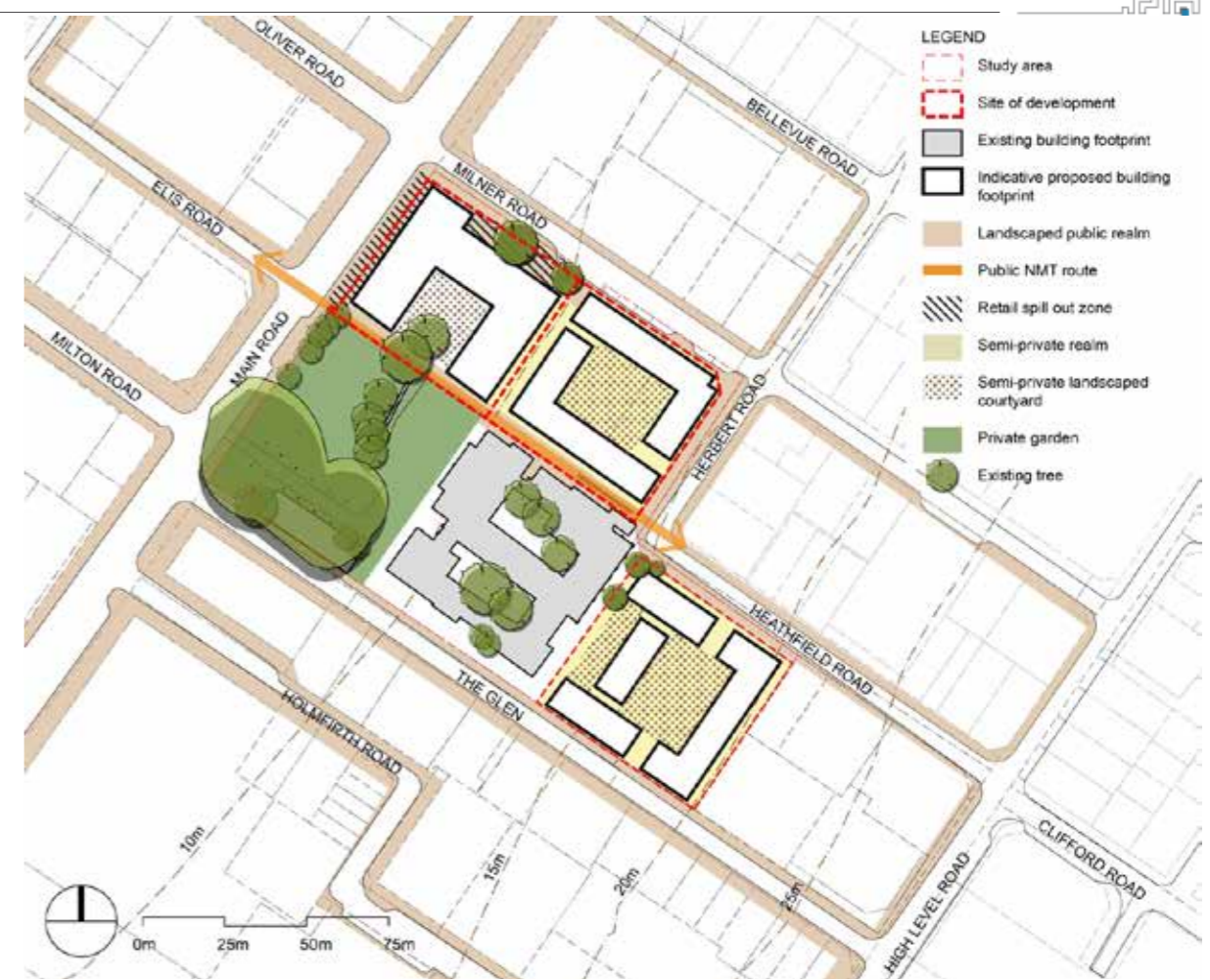


Figure 115. Open space system (top); public to private gradient (below) (Zutari, 2026c)



Figure 114. Semi-private multifunctional courtyards (Zutari, 2026c)

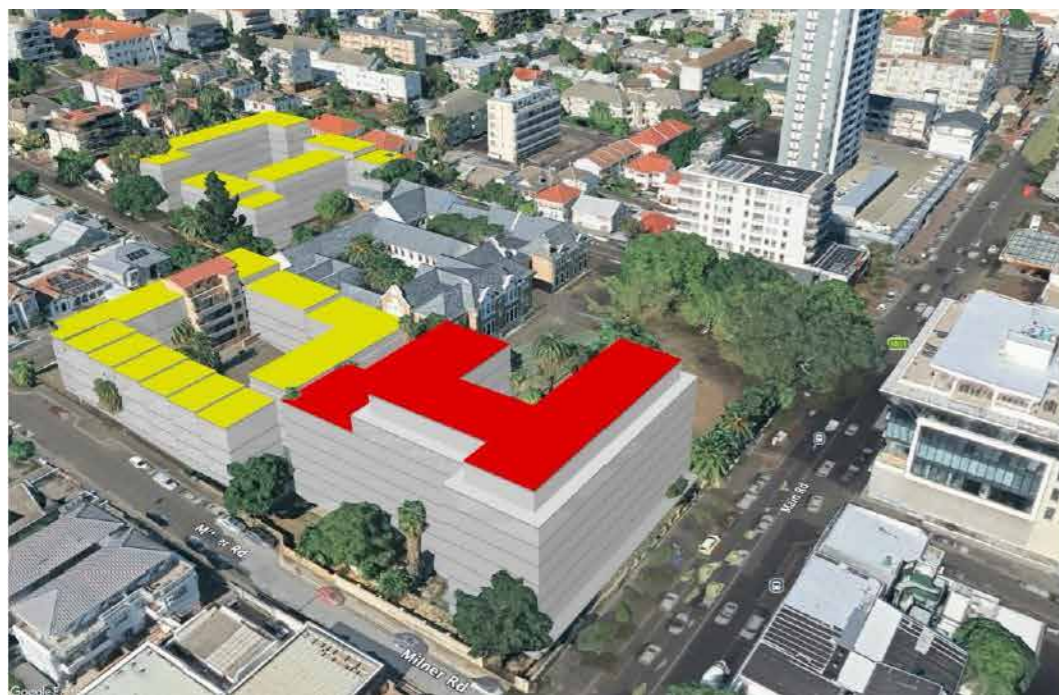


Figure 116. Revised 8 Storey Proposal Artists' Impressions: Perspective Views (Zutari, 2026c)

9.2. Design Development and Consideration of Alternatives

Various design iterations were considered for the site, varying in housing market type mix, building mass, height and the development parcels occupied. Perimeter block typology is present through all the options providing a robust layout that can respond to the different market types.

9.2.1. Concept 1 - Embedded Social Housing

In this concept, only development parcels 1 and 2 are developed. A five-storey open market residential building with retail on ground floor, is proposed on parcel 1. Parcel 2 contains both affordable and social housing development blocks of 4 storey walk-ups, arranged around a multifunctional parking courtyard. The affordable housing interfaces with the street and direct pedestrian street access is possible and encouraged. The social housing is embedded on the site, accessed off the central courtyard, providing a positive interface on to the new pedestrian street. A total of 297 units are achieved with a market split of 163 Open Market, 71 Affordable and 63 Social Housing units.



Figure 117. Concept Design Option 1 (Zutari, 2025)

9.2.2. Concept 2 – Integrated Approach

In this concept, development parcels 1, 2 and 3 are developed. As with concept 1, a five storey open market residential building with retail on ground floor, is proposed on parcel 1. Parcels 2 and 3, both contain integrated affordable and social housing development blocks of 4 storey walk-ups, arranged around multifunctional parking courtyards. The affordable housing units, interface with the street and direct pedestrian street access is encouraged. On both development parcels 2 and 3, the social housing is embedded on the sites, accessed off the central courtyards. A total of 415 units are achieved with a market split of 163 Open Market, 131 Affordable and 121 Social Housing units.



Figure 118. Concept Design Option 2 (Zutari, 2025)

9.2.3. Concept 3 – Maximise Development Potential

As with concept 2, all development parcels 1, 2 and 3 are developed. An 11 storey open market residential building with retail on ground floor, is proposed on parcel 1. A 4 storey walk-up social housing development is proposed on parcel 2, arranged around a multifunctional parking courtyard. It has a positive interface on to the streets, but pedestrian access is from the courtyard. A 4 storey walk up affordable housing development is located on parcel 3 with active interfaces on to the streets and the central courtyard space. A total of 571 units are achieved with a market split of 293 Open Market, 156 Affordable and 122 Social Housing units.

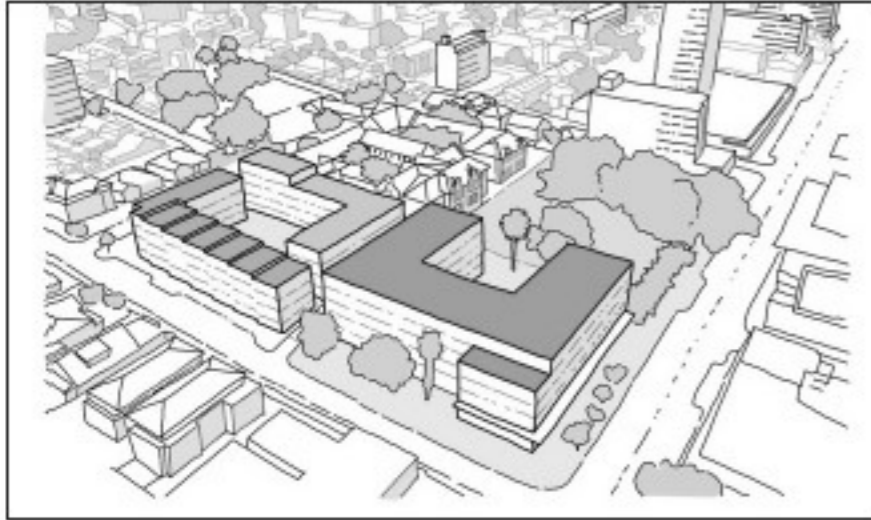


Figure 119. Concept Design Option 3 (Zutari, 2025)

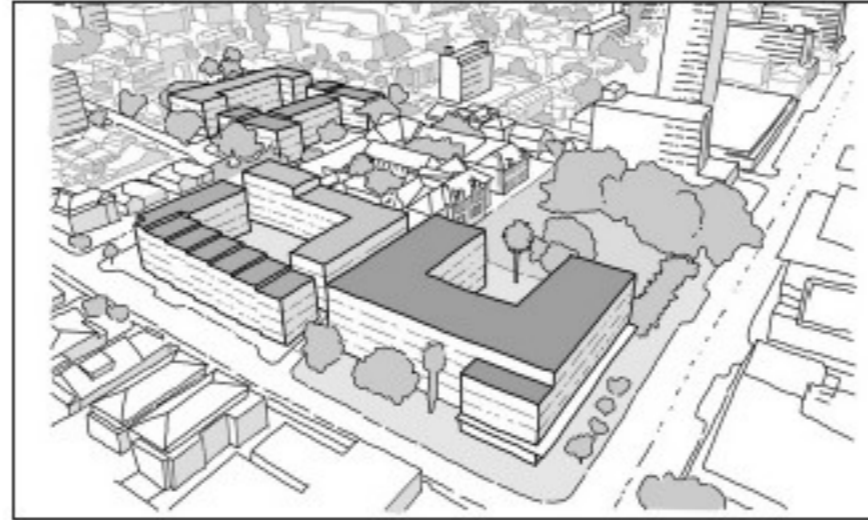
9.3. Preferred Concept Design

Option 3 has been identified as the preferred option and four variations of it were further developed to test different ratios of the housing market types. In all these variations of Option 3, the building mass and height remain constant.

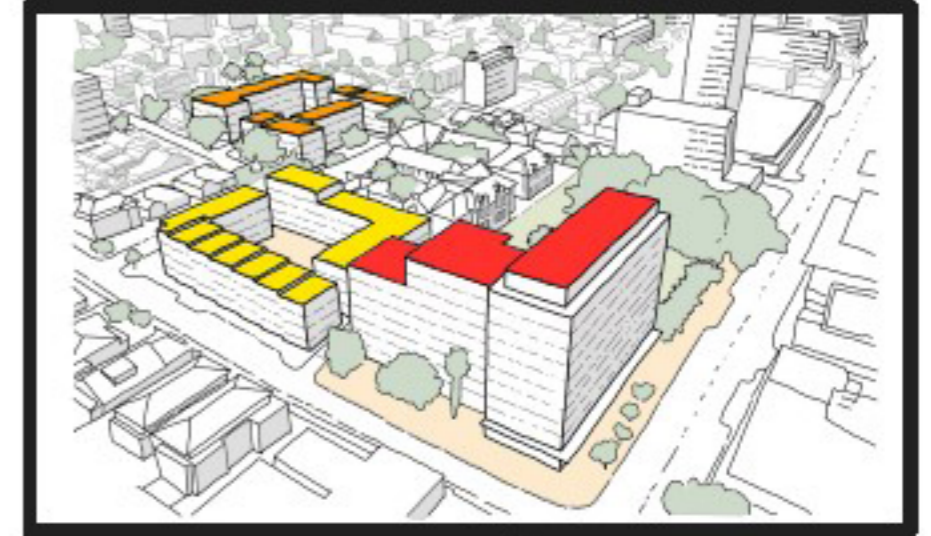
Option 1



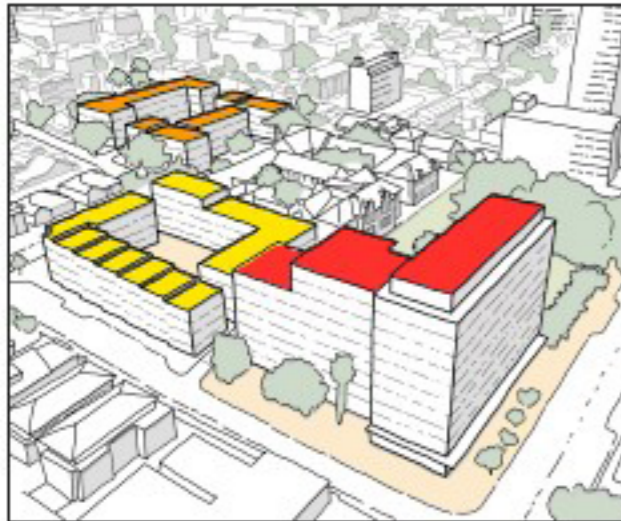
Option 2



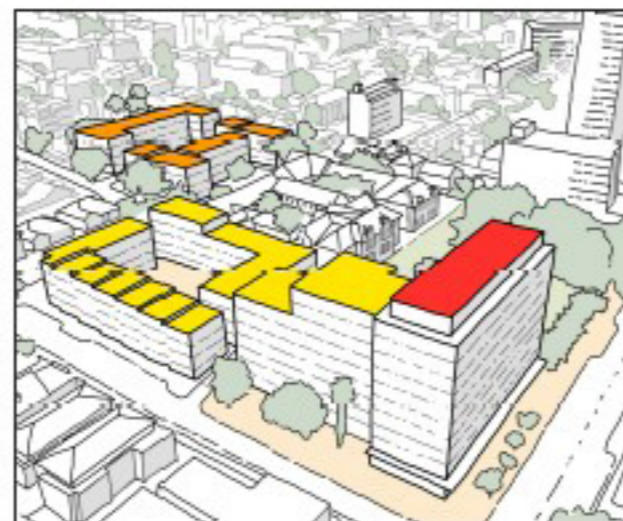
Option 3 – Preferred



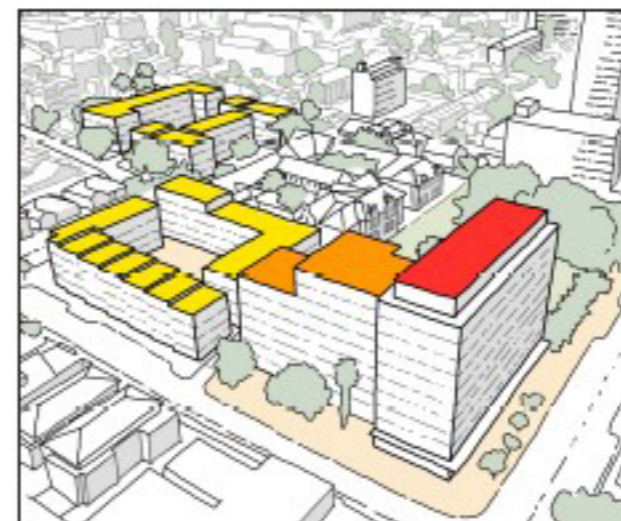
Option 3A



Option 3B



Option 3C



Option 3D

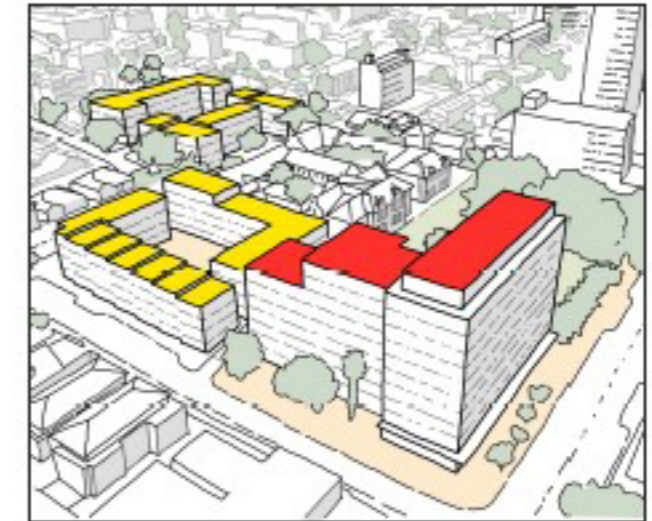


Figure 120. Design options development (Zutari, 2025)

9.3.1. Concept Design 3A

Design 3A is a refined version of Option 3A, and provides the base model for all further refinements of Option 3. In this option, the at-grade parking in the parking courts are omitted and only provided in the basement levels. The courtyards are envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access are provided.

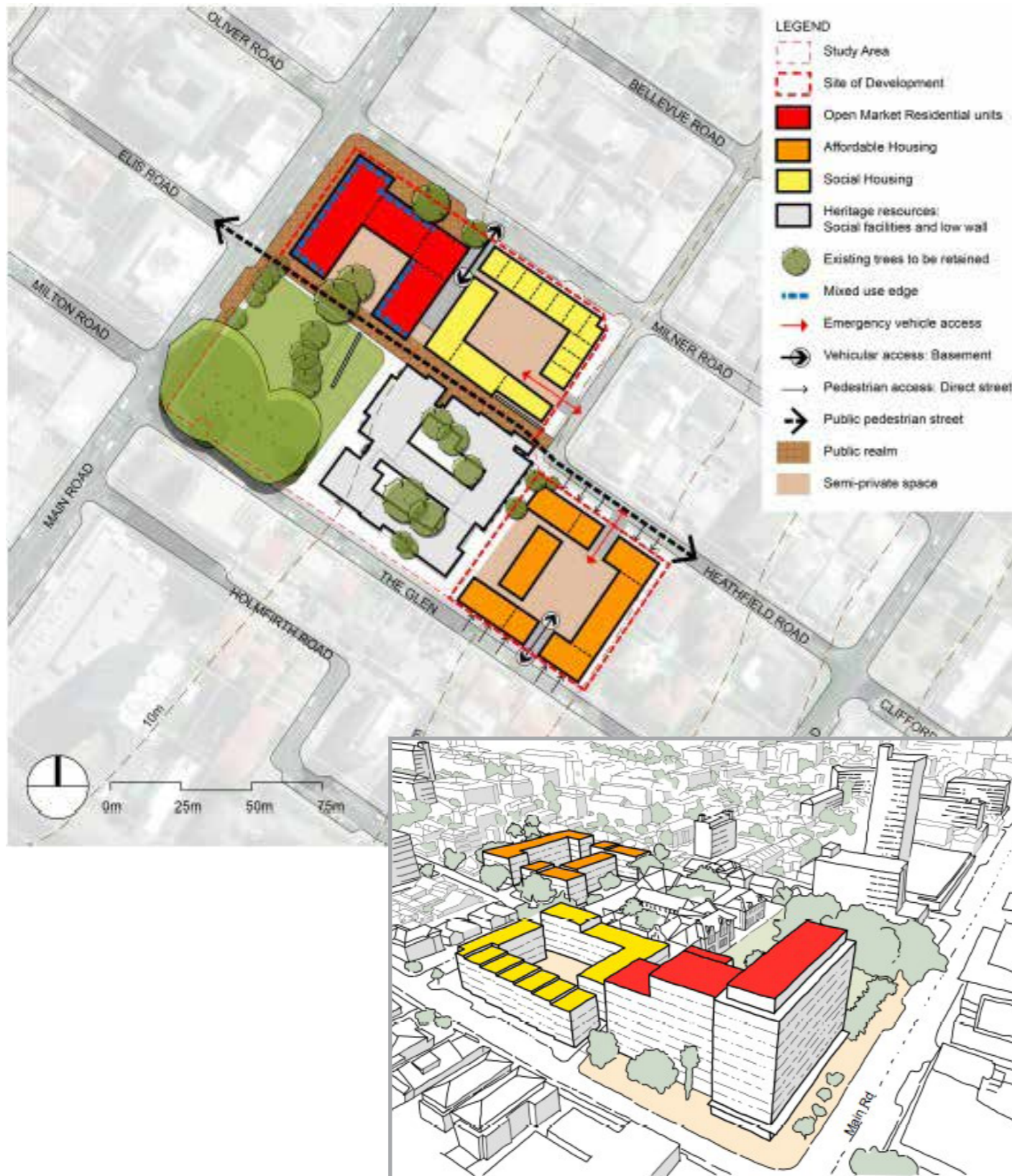


Figure 121. Concept Design 3A: Site Plan and Massing (inset) (Zutari, 2025)

9.3.2. Concept Design 3B

In Concept Design 3B only the 11 storey component on parcel 1 is allocated to open market residential units, with retail on ground floor. The remainder of the block is Social Housing with separated pedestrian access. A 4 storey walk-up social housing development is proposed on parcel 2, arranged around a courtyard. It has a positive interface on to the streets, but pedestrian access is from the courtyard. A 4 storey walk up affordable housing development is located on parcel 3 with active interfaces on to the streets and the central courtyard space. Parking is only provided in the basement levels, without any at-grade parking. The courtyards are envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access is provided.

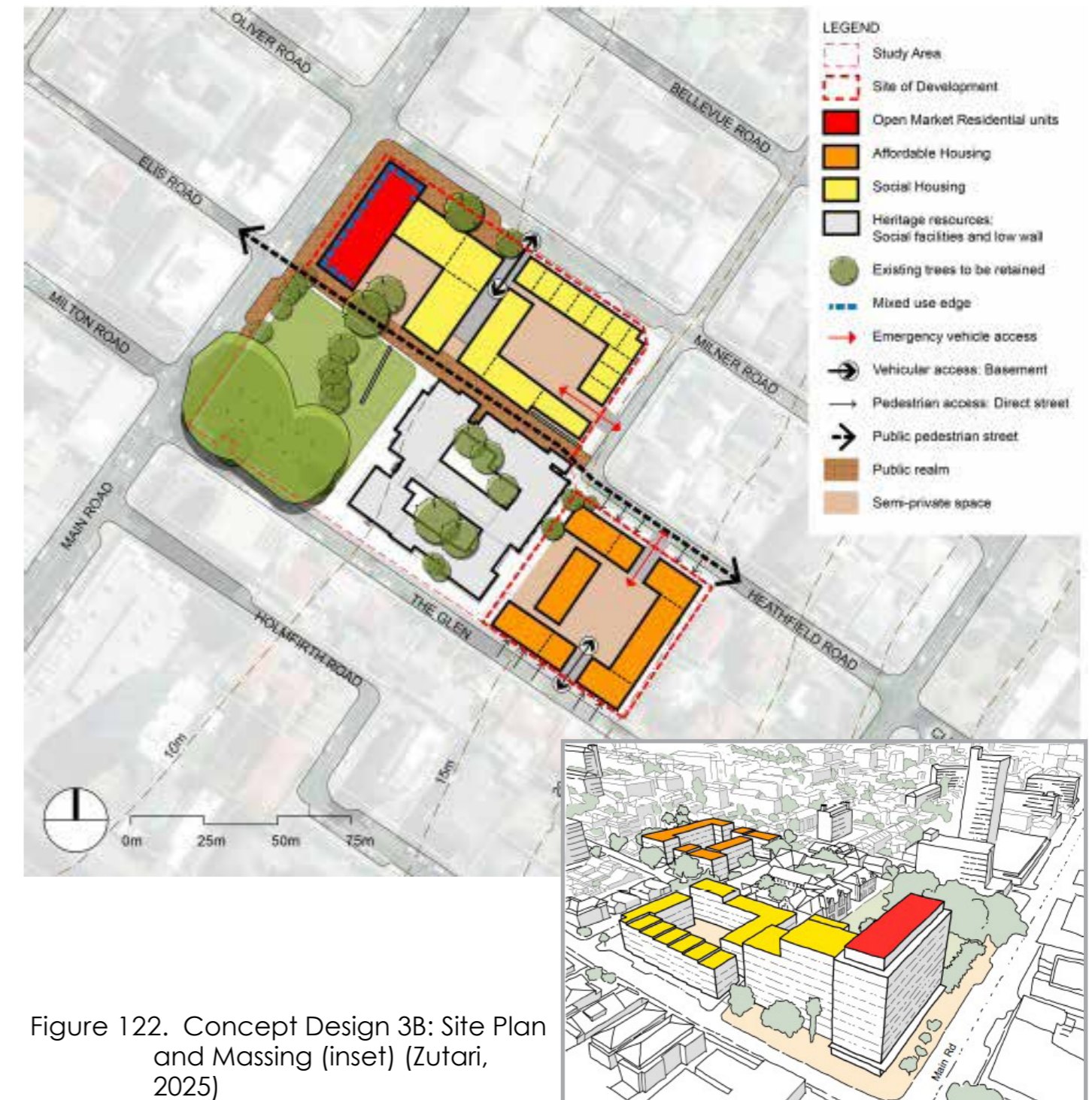


Figure 122. Concept Design 3B: Site Plan and Massing (inset) (Zutari, 2025)

9.3.3. Concept Design 3C

In Concept Design 3C, the 11 storey component on parcel 1 is allocated to open market residential units, with retail on ground floor. The remainder of the block is Affordable Housing. On parcels 2 and 3, 4 storey walkup social housing development blocks are proposed, arranged around multifunctional courtyards. It is envisioned that these blocks have positive street interfaces, but that pedestrian access is from the courtyards. Parking is only provided in the basement levels, without any at-grade parking. The courtyards are envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access is provided.

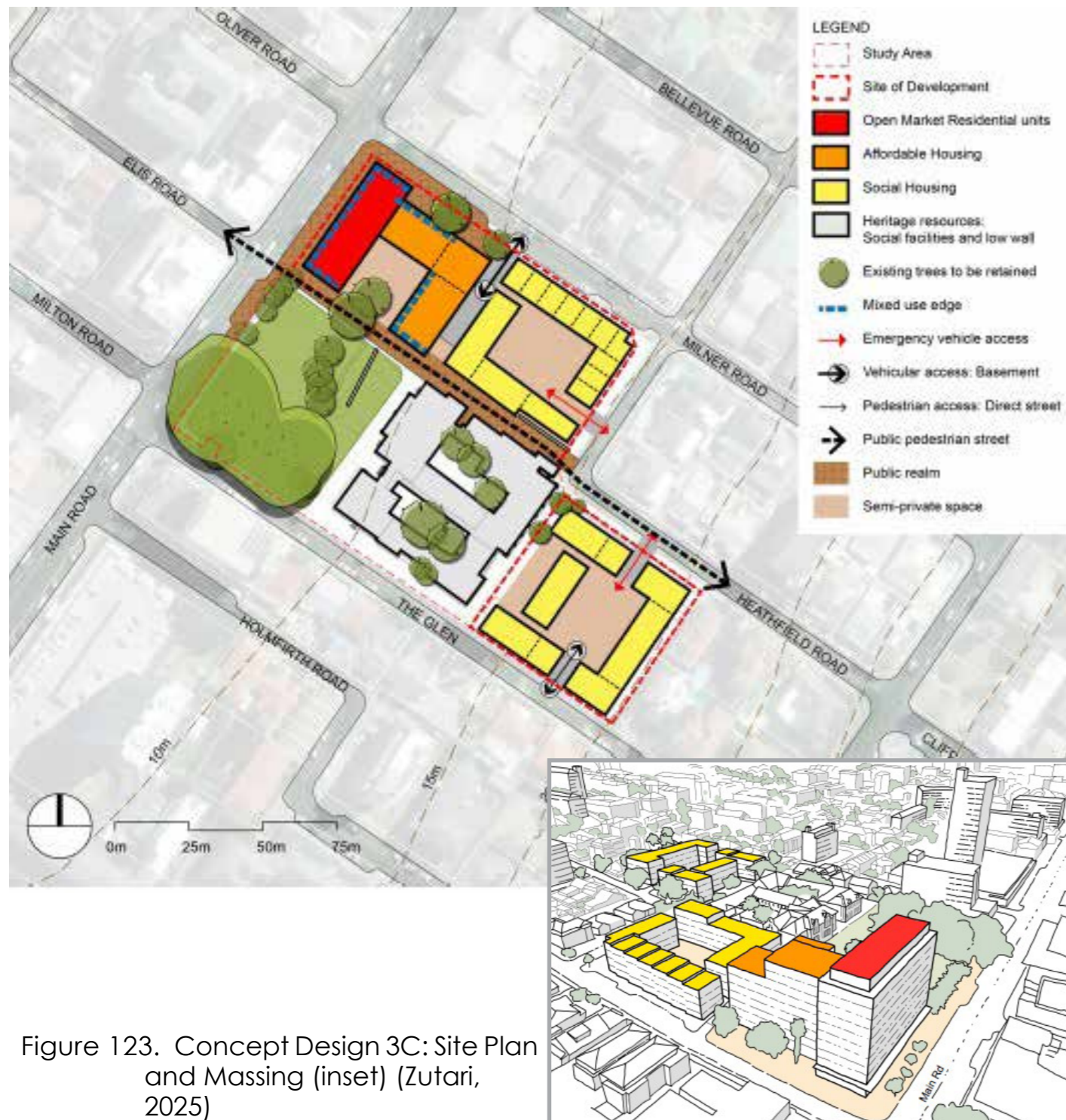


Figure 123. Concept Design 3C: Site Plan and Massing (inset) (Zutari, 2025)

9.3.4. Concept Design 3D (Originally Preferred Option, November 2025)

The preferred development option as put forward in the Draft HIA circulated for public comment in November 2025 was Concept Design 3D. This model proposed the construction of an 11 storey building on Parcel 1 that is Open Market Residential with retail on the ground floor (Zutari, 2025). The remaining buildings proposed for Parcels 2 and 3 were to be 4 storey walk-up social housing arranged around multifunctional courtyards. It is envisioned that these blocks have positive street interfaces, but that pedestrian access is from the courtyards. In this concept, Affordable Housing is omitted.

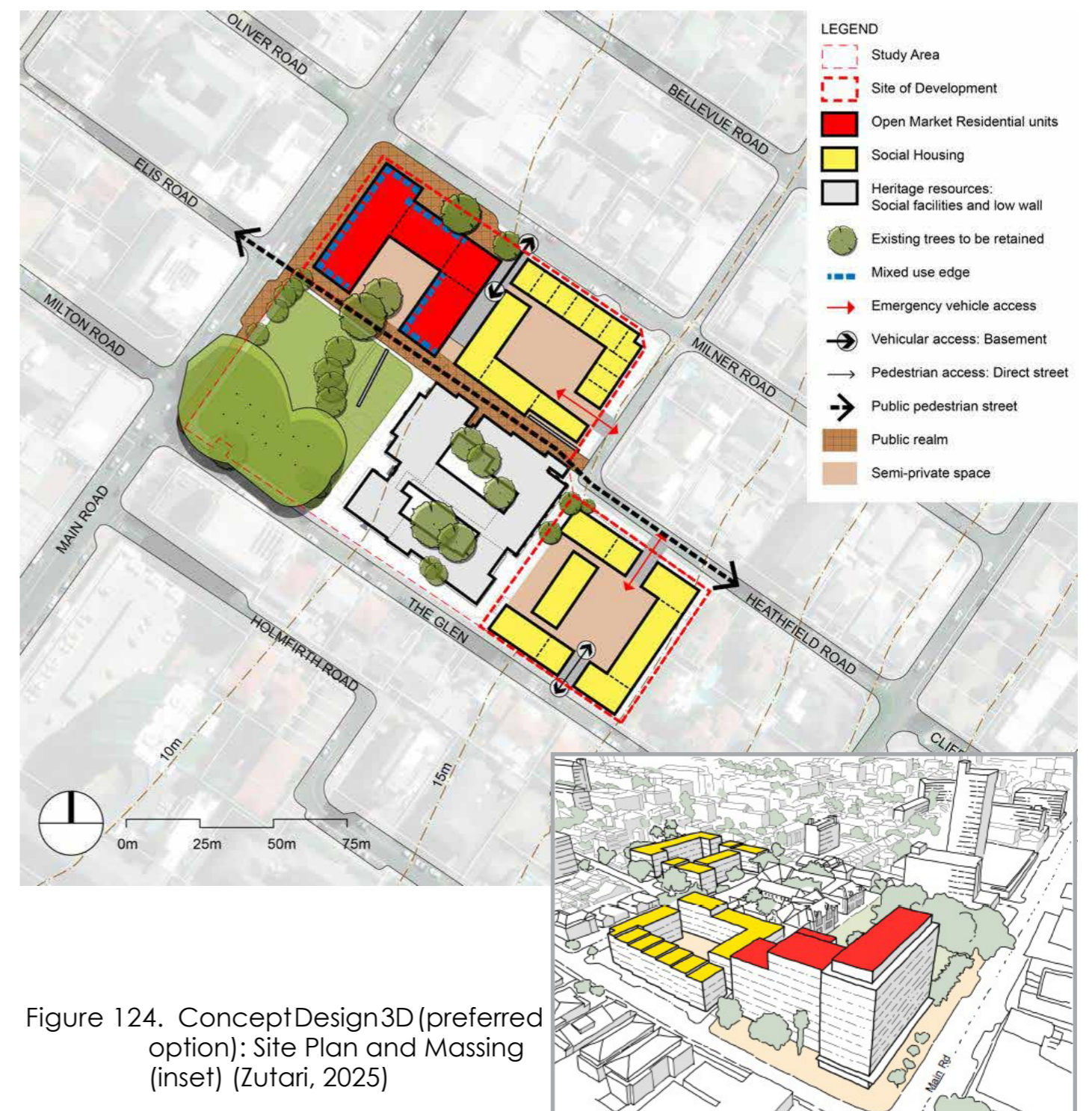


Figure 124. Concept Design 3D (preferred option): Site Plan and Massing (inset) (Zutari, 2025)

Table 3. Coverage breakdown

Dev. Ptn.	Dev. Ptn. (m ²)	Proposed building footprint (m ²)	Coverage
Portion 1	2765	1532	55%
Portion 2	2782	1298	47%
Portion 3	3100,5	1441	46%

The maximum development potential in terms of number of floors and net building area, assuming an 80% efficiency ratio to calculate the nett building area, provides a total residential gross lettable area (GLA) of 17 615m², and a retail GLA of 1 200m². Based on this calculation, unit yields were derived for the preferred alternative that will see 229 units (49.1% of the GLA) devoted to Open Market residences, and 252 (50.9% of the GLA) to Social Housing.

The 11 storey building was to be located on the corner of Main Road and Milner Road along the Development Corridor as indicated in the MSDF. The development then steps down to four storeys towards High Level Road in response to the finer grain, low rise residential context there. The four storey buildings follow the topography, and have stepped floor plates and roofscapes to achieve this.

The site is located in a PT2 zone, and no parking is required in terms of regulations pertaining to that zoning. Parking is, however, to be provided in the basement levels, at a ratio of 0,5 bays per residential unit, with a total of 241 parking bays required over the three development blocks; a further 10 bays on development parcel 3 need to be provided for the Department of Social Development site. No at-grade parking is provided.

Other than the emergency access, Option 3D would not have any at-grade vehicular access. There were to be two basement ramp access points to the development, one per development parcel. Development parcel 1 is accessed off Milner and development parcel 2 is accessed off The Glen.

Pedestrian entrances to access the ground floor and the residential floors above, were to be encouraged along Main Road to ensure the edge is active and responds to its context of active ground floor edges. A public right of way pedestrian street was proposed to run from Main Road, through the centre of the site towards Heatherfield Road. The development would be highly accessible to both MyCiTi and Taxi Routes, with a MyCiTi station directly adjacent to the development with several more within a 20-minute walk from the site.

The courtyards were envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access are provided.

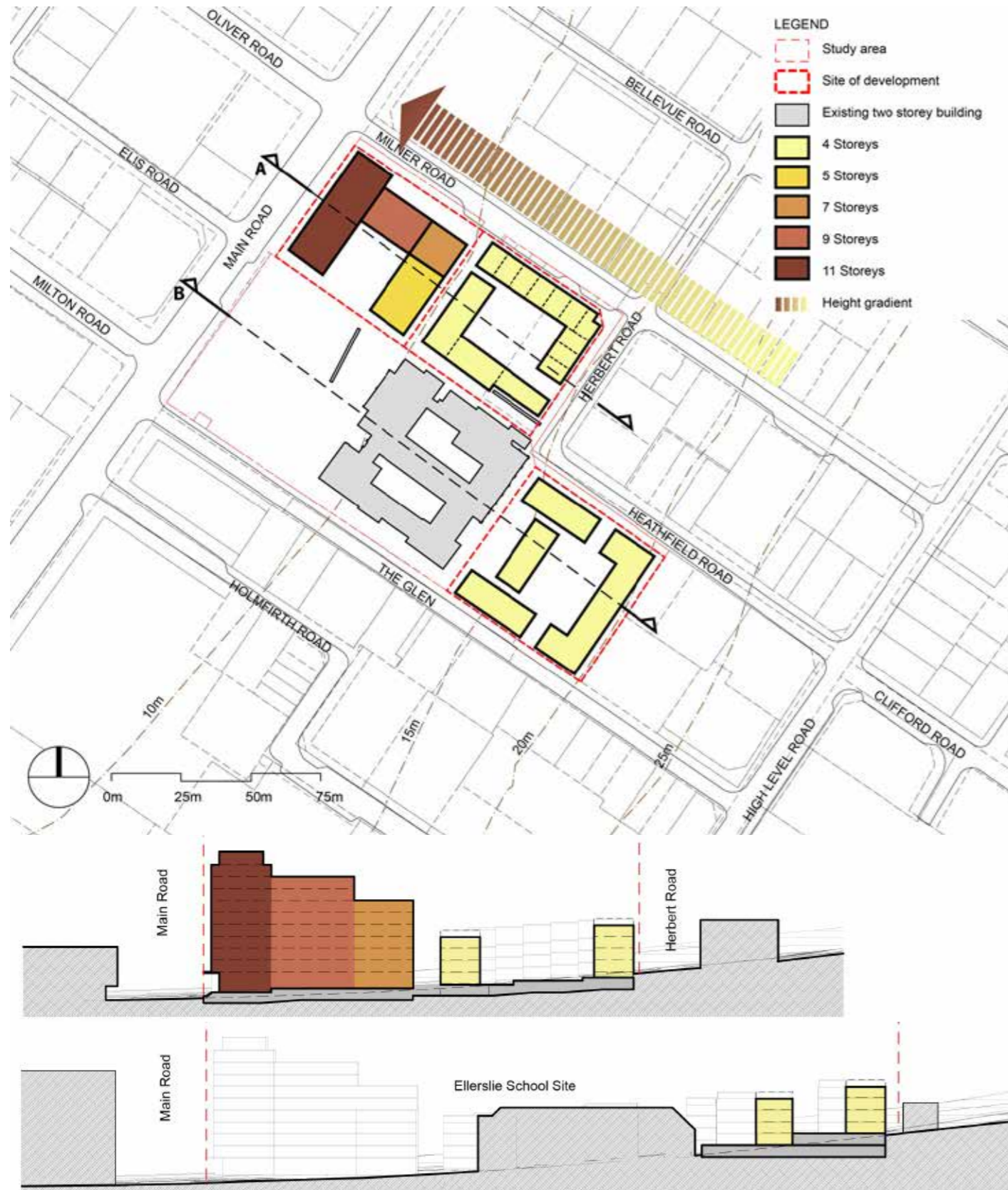


Figure 125. Proposed height distribution across the site (top) and sections through site (below) (Zutari, 2025)

9.4. Development Guidelines

(Refer to Annexure K: Zutari Design Guidelines Report 2026/05/04)

The Development Guidelines (Zutari, 2026d: 27-32) present detailed design criteria for the proposed development, and design fixes for each of the three development parcels and the future DSD site (see Figure 104 above).

The Design Guidelines Report sets out the following detailed design criteria.

Built Form Guidelines:

- Building placement
- Build-to and setback lines
- Interface conditions
- Bulk, massing and height
- Access and parking
- Land use and activity

Open Space Guidelines:

- Streets
- Pedestrian right of way
- Courtyards
- Roofscapes
- Hard and soft landscaping
- Lighting and furniture
- Stormwater management.

Guidelines addressing safety and precinct management:

- Safety and security
- Precinct management and maintenance
- Shared utilities and amenities

9.4.1. Interface Guidelines

The Guidelines present a number of interface guidelines to ensure that the proposed development responds sensitively to the public realm and contribute positively to the surrounding urban character.

General interface guidelines include:

- Building facades fronting the public realm should be visually active and include windows, doors and transparent walls.
- Ground floor units should have ground floor access to promote activation

of the facade and adjoining public realm.

- The use of level changes is useful to demarcate the public and private realm: front stoeps, steps, low walls, colonnades, overhangs and planting are all elements that can be used to create a sense of privacy from the public street, while still providing surveillance
- Provide protection from the elements with overhangs, colonnades, shading elements and strategic tree planting
- Balconies should be incorporated to ensure that there is passive surveillance overlooking the public realm. NOTE: In the case of a balcony projection over the property boundary a servitude area will need to be registered with the City
- Articulate facades of larger, longer buildings by avoiding repetitive fenestration. Include protruding elements, changes in materials and shadow lines.



Figure 126. Interface Conditions (Zutari, 2026d)

Interface Condition 1.1

This interface condition deals with the mixed-use development edge along Main Road. There is a heritage graded stone wall that needs to be retained, but it is encouraged to puncture through this wall at strategic locations to allow permeability between the ground floor uses and Main Road.

It is envisaged as an active ground floor use with a semi-public covered terrace that serves as a transition space to the public street.

It is important to minimise and mitigate the inactive edge a basement could contribute to Main Road and the aim is to achieve a ground floor that becomes an extension of the public realm.

Interface Condition 1.2

This interface condition is for the retail edge on the proposed pedestrian street.

The pedestrian street runs between the DSD Site and the proposed housing development and acts as public thoroughfare that extends from Ellis Road to Heathfield Road. It is important that the route remains public with active and / or positive edges on either side to ensure it is an integrating element that contributes to the public accessibility of the development in the area.

Interface Condition 2

This interface condition is along Milner Road and aims to accommodate the services and delivery edge associated with the mixed-use functions of the development in a manner that does not negatively affect the public realm. Two protected trees are also located along this edge.

Interface Condition 3

This interface condition focuses on the vehicular basement ramps and the building edges on either side.

Interface Condition 4

This interface condition is present along Milner, Herbert, Heathfield Roads, The Glen and the public pedestrian right of way. It deals primarily with the residential ground floor edge.

Interface Condition 5

This refers to the building edges that define the courtyards within the respective development parcels.

Interface Condition 6

This relates to the edges of the development that face on to other private erven. The aim is to ensure that the space between the built form and the property boundary is effectively utilised.

The Zutari Design Guidelines Report (2026d) illustrates the sequence of conditions at various points across the site (See Section 2.3 Annexure K).

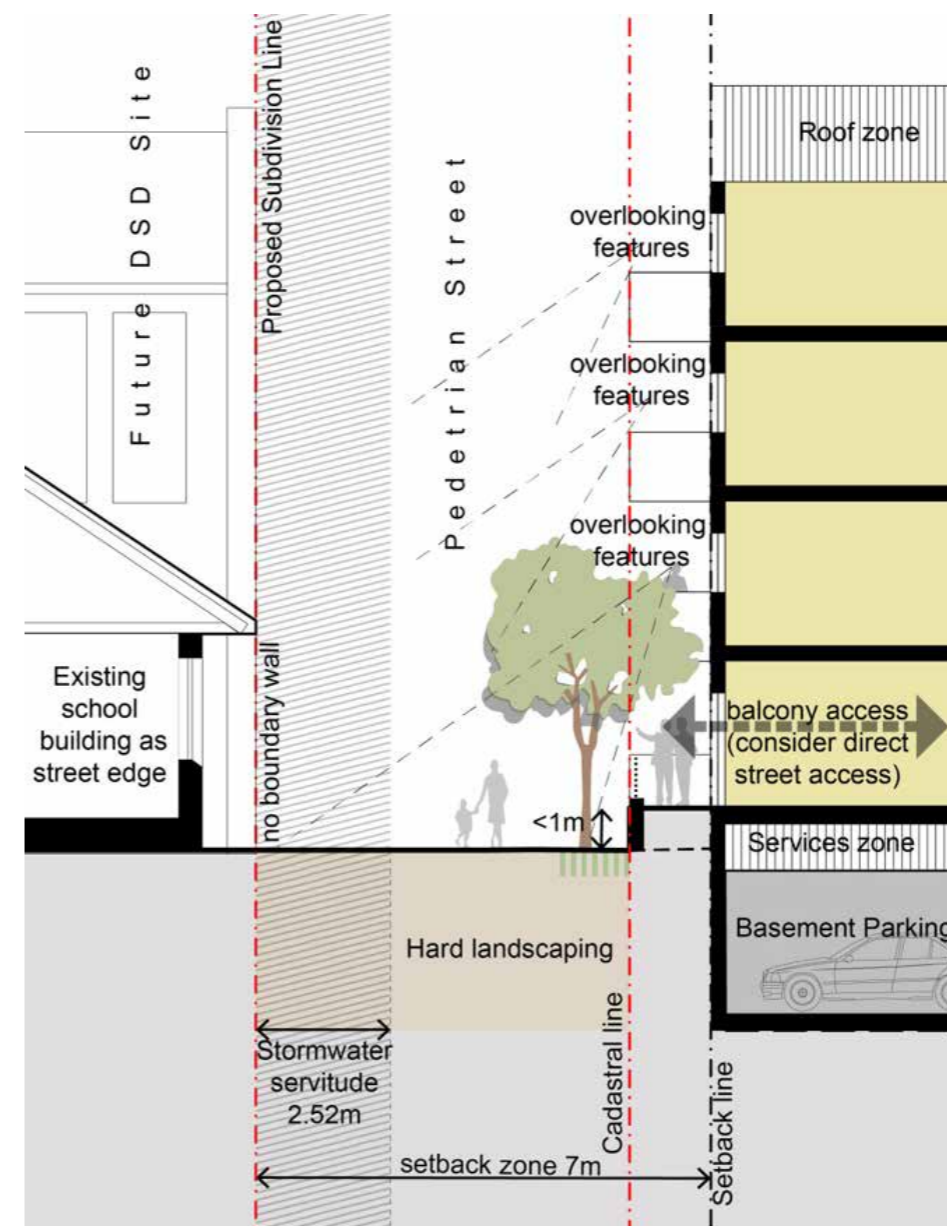


Figure 127. Interface condition 4B; through public pedestrian street (Zutari, 2026d: 15)

9.4.2. Development Fixes

The fixes presented below relate to build lines, ground and first floor setbacks, maximum height zones, minimum sizes for courtyards, where active ground floor edges are required, vehicle access points, heritage elements and their gradings, which trees need to remain and other fixes such as the private garden that needs to remain as soft landscaped forecourt space to the DSD site.

DEVELOPMENT PARCEL 1

Development parcel 1 is located on the western most parcel of the site and is encompassed by Main Road to the west, Milner Road to the north, Development parcel 2 to the east and the proposed pedestrian street to the south.

Development Parameters

PARCEL AREA	2 765m ²
Proposed Bulk	8 526m ²
Coverage	55%
Proposed Zoning	GB5
Height Range	5-8 Storeys
No. of Parking Bays	120

Intent and Desired Character

This parcel has the highest bulk of the three parcels. The intention is to create a lively mixed-use building that contributes positively to the activity of Main Road. The ground floor needs to be accessible to the public with shops, restaurants, entertainment and community facilities. Residential floors above should engage with the street with balconies and large windows to overlook Main Road, Milner Road and the proposed pedestrian street.

The site is not a prominent location and does not call for a landmark in its architectural expression, instead seek to create an elegant background building that does not detract from the heritage resources of the DSD site with its tangible resources (old Ellerslie School building and forecourt garden).

Maintain a strong visual link with the DSD site.

Land Use and Massing

Development parcel 1 includes a mix of uses in a 5-8 storey envelope with predominantly open market residential, retail on ground floor and one to two levels of basement parking.

Access and Parking

The ground floor should have direct pedestrian access from Main Road and the proposed pedestrian route, through as many as possible entrances to ensure activation of the public realm.

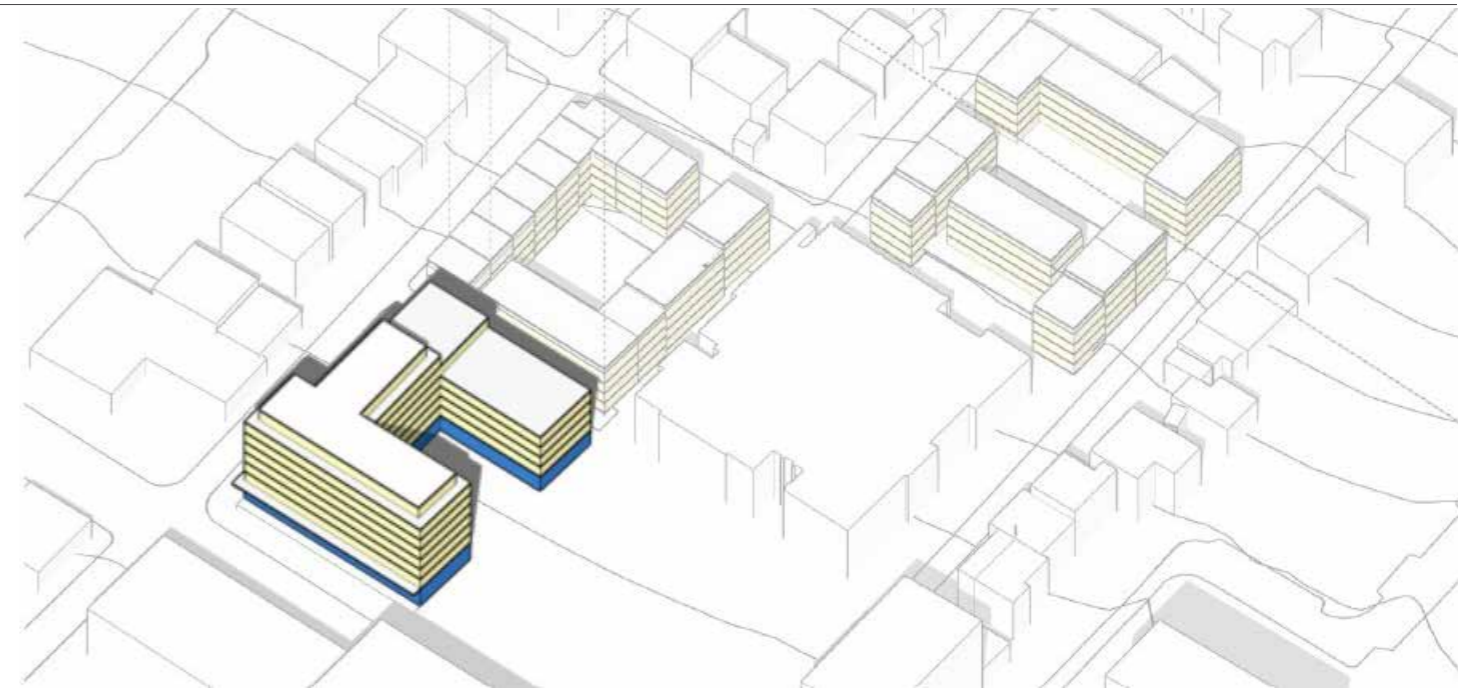


Figure 128. Parcel 1 Axonometric view with land uses (Zutari, 2026d: 27)

A foyer space with vertical circulation core(s) need to be provided on the ground floor to provide secure access to the upper residential units. Shared utility amenities should be grouped with these circulation cores.

Vehicular access to the basement(s) is from Milner Road. No vehicular access or parking is envisaged on ground floor level. Services associated with the public ground floor uses should be on Milner Road, with a dedicated delivery parking bay.

Interface conditions

Level changes between the building and Main Road, and between the courtyard and the pedestrian route, need to be carefully considered and used to define public, semi-public and private space. Visual permeability with casual human surveillance should prevail and privacy should be clearly defined.

There are 3 different interface conditions applicable to the development edges of Parcel 1:

- Type 1: Ground floor retail
- Type 2: Services edge
- Type 3: Limited ground floor access

(See Section 2.3: Interface Conditions of Annexure D for more information.)

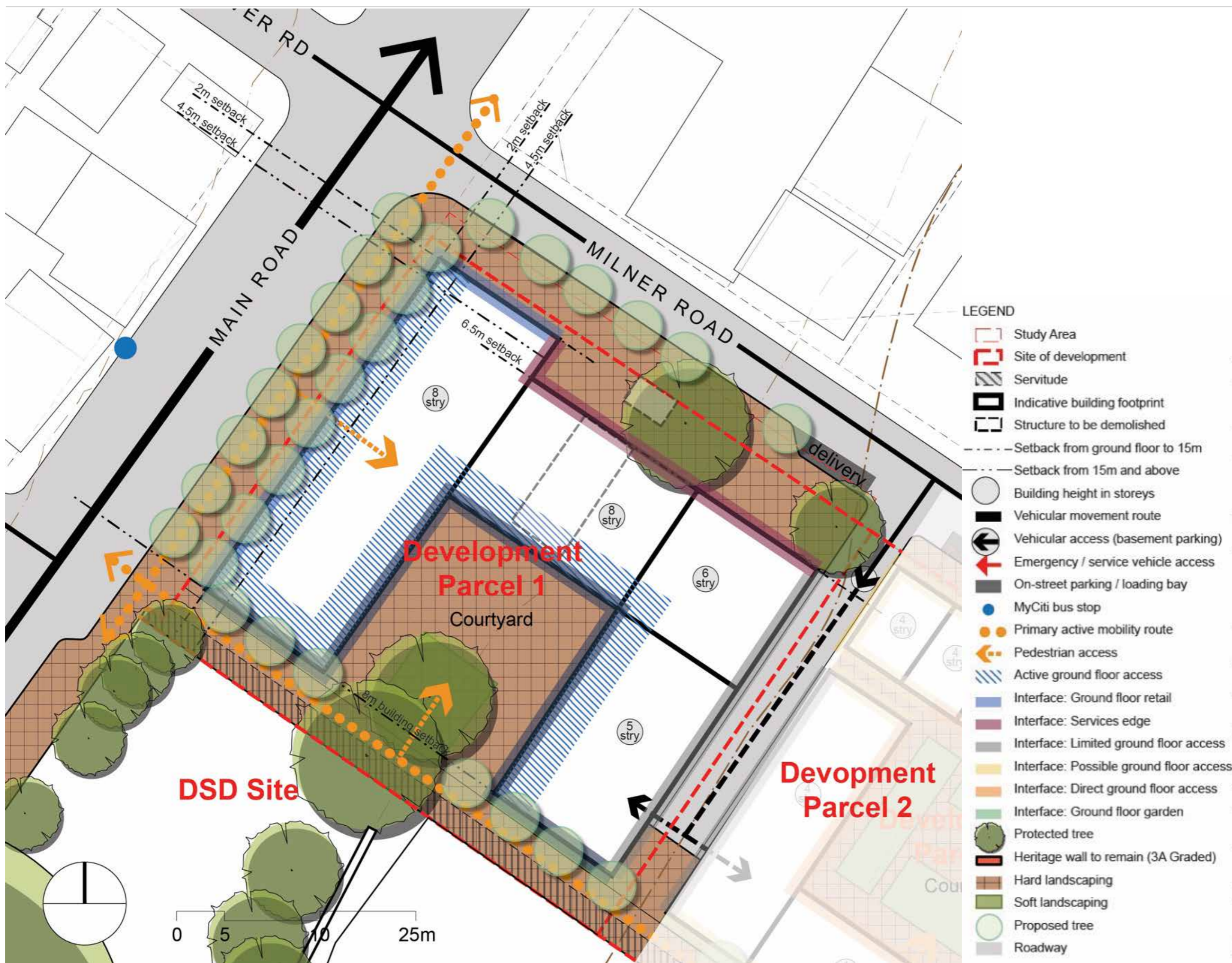


Figure 129. Development concept plan: Development Parcel 1 (Zutari, 2026d: 28)

DEVELOPMENT PARCEL 2

Development parcel 2 is located on the north eastern corner of the site and is surrounded by Milner Road to the north, Herbert Road to the east, the proposed pedestrian street to the south and parcel 1 to the west.

Intent and Desired Character

The intention for this parcel is a low to medium rise (3-4 storey) residential walk up consisting of a series of buildings arranged around a semiprivate courtyard.

To ensure a contextual fit, single level floor plates are discouraged and the built form should be guided by the topography of the site. Consider stepping the building as much as possible along Milner Road and the pedestrian street to ensure a good ground floor street interface and to achieve a fine grain character that reflects the smaller residential buildings in the area.

Maintain a strong visual link with the DSD site.

Land Use and Massing

Development parcel 2 is exclusively set aside for social housing units in a 3-4 storey envelope and one to two levels of basement parking.

Development Potential

PARCEL AREA	2 782m ²
Proposed Bulk	5 232m ²
Coverage	47%
Proposed Zoning	GR4
Height Range	3-4 Storeys
No. of Parking Bays	120

Access and Parking

Pedestrian access to the courtyard should be off Milner Road, Herbert Road and the proposed pedestrian public street. If possible, provide direct street access to the ground floor units, with upper floors accessed via the courtyard.

Vehicular access to the basement is from Milner Road through a shared ramp with development parcel 1. No vehicular access or parking is envisaged on ground floor level.

An emergency and service vehicle access to the courtyard, could be provided off Herbert Road.

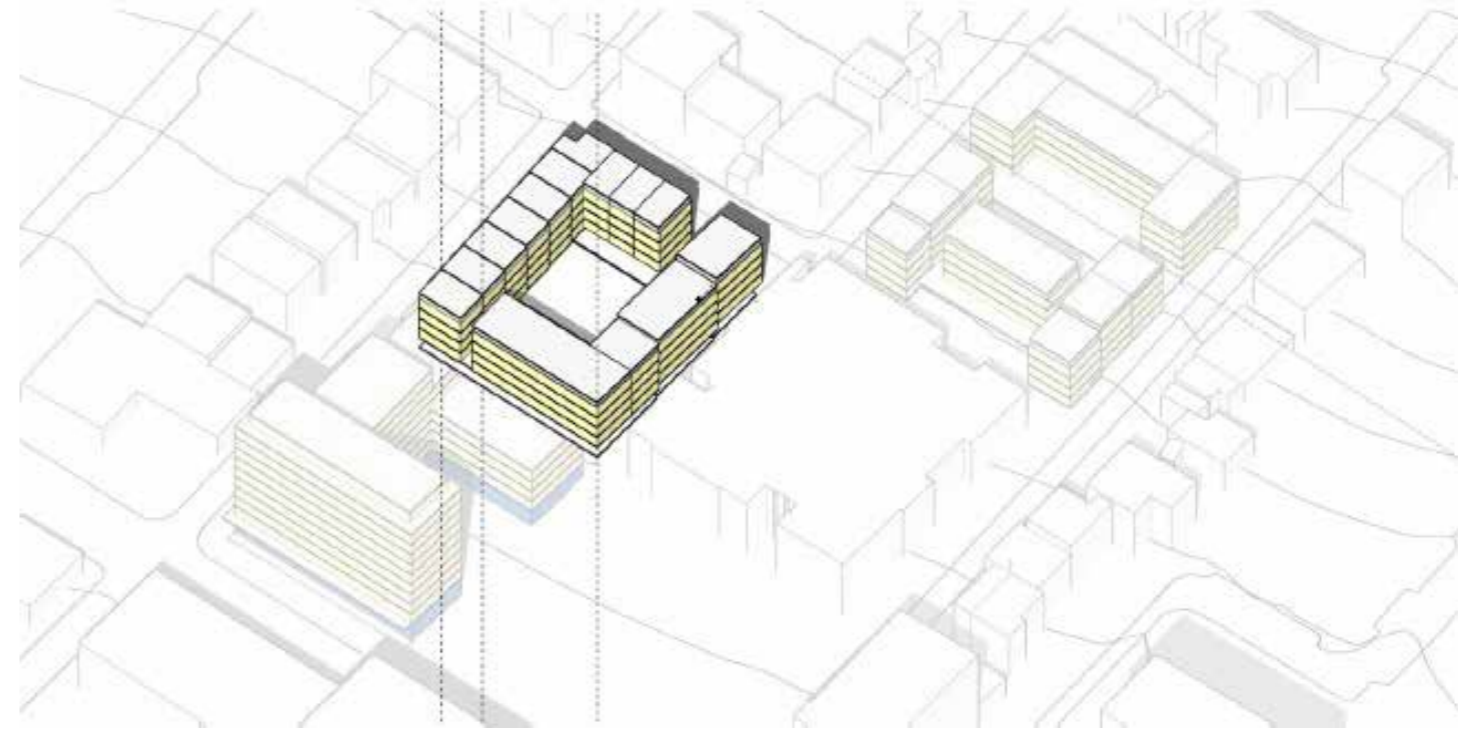


Figure 130. Parcel 2 Axonometric view with land uses (Zutari, 2026d: 29)

A foyer space with vertical circulation core(s) need to be provided on the ground floor to provide secure access to the upper residential units. Shared utility amenities should be grouped with these circulation cores.

Vehicular access to the basement(s) is from Milner Road. No vehicular access or parking is envisaged on ground floor level. Services associated with the public ground floor uses should be on Milner Road, with a dedicated delivery parking bay.

Interface conditions

Level changes between the building and Main Road, and between the courtyard and the pedestrian route, need to be carefully considered and used to define public, semi-public and private space. Visual permeability with casual human surveillance should prevail and privacy should be clearly defined.

There are 3 different interface conditions applicable to the development edges of Parcel 1:

- Type 1: Ground floor retail
- Type 2: Services edge
- Type 3: Limited ground floor access

(See Section 2.3: Interface Conditions of exure D for more information.)

Landscaping

Refer to Annexure G, and see Section 9.5 below.



Figure 131. Development concept plan: Development Parcel 2 (Zutari, 2026d: 30)

Heritage

Retain the low wall of heritage significance on the southern corner of the development, parallel to the public pedestrian street. Building to be set back to retain this element.

DEVELOPMENT PARCEL 3

Development parcel 3 is not connected to the other two parcels and is located on the far eastern corner of the site, encompassed by Heathfield Road to the north, a guesthouse to the east, Glen Road to the south and the DSD site (Old Ellerslie School) to the west.

Intent and Desired Character

The intention for this parcel is a low to medium rise (3-4 storey) residential walk up consisting of a series of buildings arranged around a semiprivate courtyard.

To ensure a contextual fit, single level floor plates are discouraged and the built form should be guided by the topography of the site. Consider stepping the building as much as possible along Heathfield Road and The Glen to ensure a good ground floor street interface and to achieve a fine grain character that reflects the smaller residential buildings in the area.

Maintain a strong visual link with the DSD site.

Land Use and Massing

Development parcel 3 is exclusively set aside for social housing units in a 3-4 storey envelope and one to two levels of basement parking.

Development Potential

PARCEL AREA	3 100.5m ²
Proposed Bulk	5 520m ²
Coverage	46%
Proposed Zoning	GR4
Height Range	3-4 Storeys
No. of Parking Bays	60 (-10 reserved for DSD site)

Access and Parking

Pedestrian access to the courtyard should be off Heathfield Road and the Glen. If possible, provide direct street access to the ground floor units, with upper floors accessed via the courtyard.

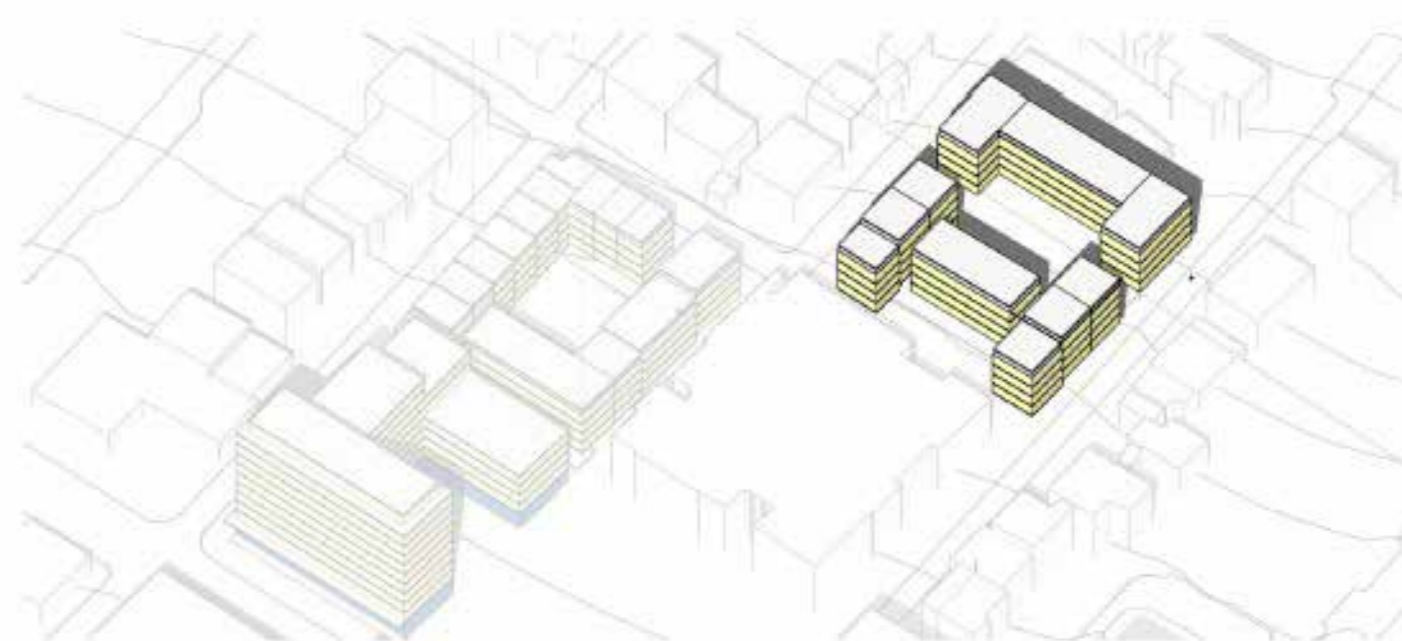


Figure 132. Parcel 3 Axonometric view with land uses (Zutari, 2026d: 31)

Vehicular access to the basement is from The Glen. No vehicular access or parking is envisaged on ground floor level.

An emergency and service vehicle access to the courtyard, could be provided off Heathfield Road.

Interface conditions

Level changes between the building, Heathfield Road and the Glen and between the courtyard and the ground floor units, need to carefully considered and used to define the privacy gradient from public, semi-public to private space. Visual permeability with casual human surveillance should prevail and privacy should be clearly defined.

There are 4 different interface typologies applicable to the development edges of Parcel 3:

- Type 3: Limited ground floor access
- Type 4: Possible ground floor access
- Type 5: Ground floor direct access
- Type 6: Ground floor garden

(See Section 2.3: Interface Conditions of Annexure K for more information.)

Landscaping

Refer to Annexure G, and see Section 9.5 below.

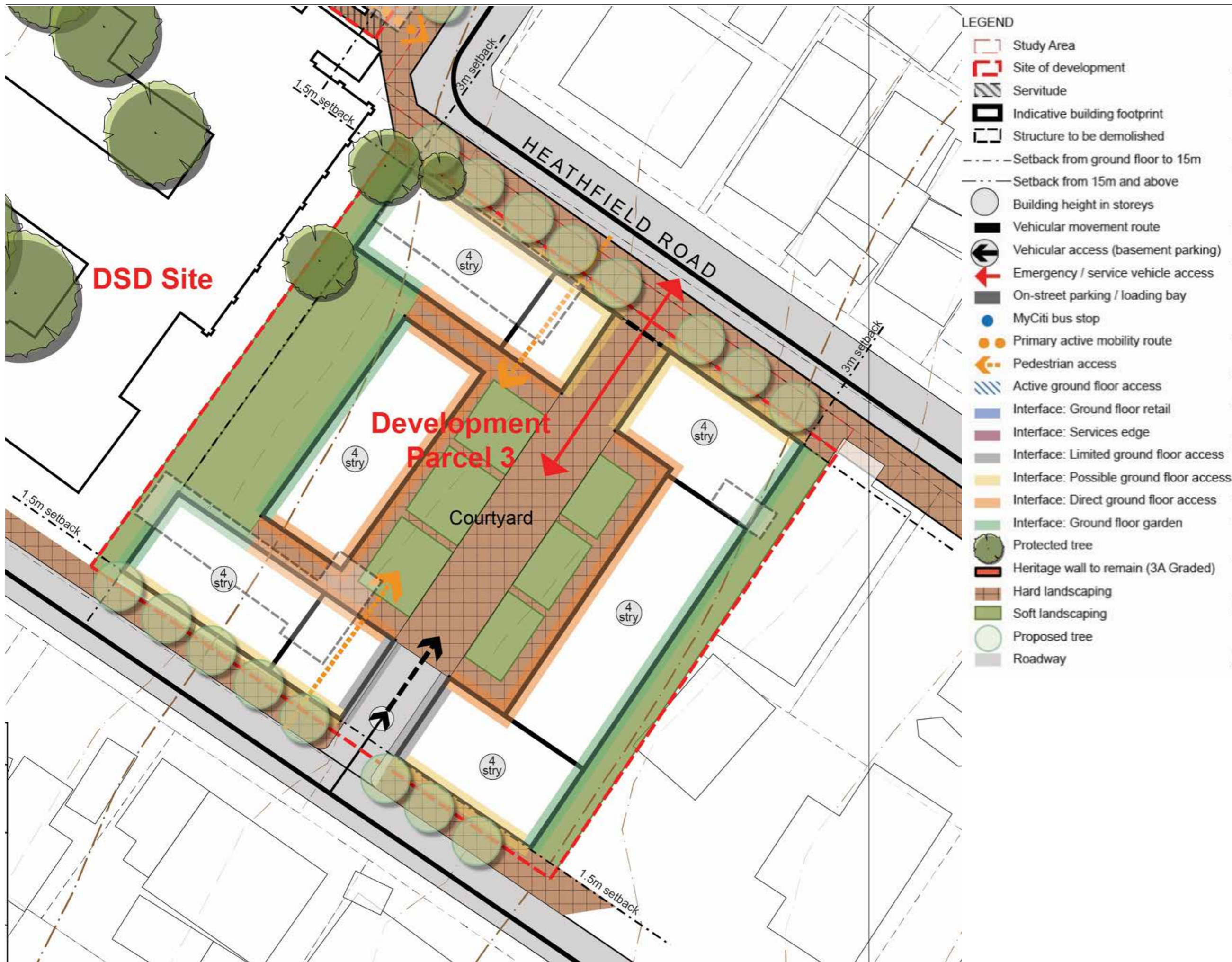


Figure 133. Development concept plan: Development Parcel 3 (Zutari, 2026d: 32)

9.5. Landscape Guidelines (Square One, April 2026c)

The Updated Landscape Guidelines (Square One, April 2026c) provide guidance in terms of landscaping for Parcels 1, 2 and 3, as well as explicit guidelines for the future treatment of the DSD portion of the site, emphasising the intention to “[r]etain and celebrate the Ellerslie School (DSD) complex, boundary walls, and mature trees as anchors of local memory and character. Consider opportunities to link the DSD and DOI sites for greater heritage cohesion” (Ibid: 2).

The following methods are proposed to achieve heritage integration:

- Framed views towards heritage structures or planting
- Continuity of paving, planting, lighting and furniture palettes across the portions.
- Treat the edge between the DOI and DSD sites as a civic forecourt or shared green, not as a hard boundary. Use terraces, stoeps, or low walls to mediate between the historic and new.
- Integrate subtle heritage interpretation elements (engraved thresholds, story panels, or crafted detailing) that communicate the layered history of the site.
- Align built and landscape geometries, paving bands, and tree avenues to extend sightlines and reinforce the historical axes of the site.

STREETSCAPE	
Main Road Terrace:	
MR1	Add tree line parallel to existing street trees to humanise the streetscape and provide summer shade/winter sun.
Residential Buffers (Milner, Herbert and Heathfield Roads):	
R1	Street trees as buffer; shade in summer, sun in winter.
R2	Bioswale planters with weirs along slopes for edge buffering and passive irrigation.
LANEWAY	
L1	Trees to provide human scale streetscape.
L2	Private edges – use wider planting for screening.
L3	Commercial edges – widen laneway to create spill-out spaces for dining and entertainment.
L4	Bioswale planters with weirs to manage level changes.
L5	Connection between commercial and social housing blocks with planted laneway for safety and activation.
OPEN MARKET HOUSING PRECINCT: BLOCK 1 COURTYARD	
S1	Incorporate heritage trees as a central landscape feature.
S2	Pergola/arbour structures for human-scaled outdoor rooms beneath apartments while ensure adequate solar access.
S3	Green roof condition with permeable surfaces to mitigate runoff.
SOCIAL HOUSING PRECINCT: BLOCKS 2 AND 3 COURTYARDS	
C1	Green roof above basement parking.
C2	Courtyard landscape with perimeter paths for apartment access. Central gathering spaces and children's play areas. Quiet buffer zones integrated into courtyard edges.
C3	Emergency access routes designed as shared amenity areas (e.g. informal sports) while maintaining functionality.
C4	Green roofs as amenity and to mitigate runoff.
DSD SITE PRECINCT	
D1	Private garden with protected heritage trees.
D2	Movement access route with permeable paver or reinforced gravel space.
D3	(Red rectangle) possible car parking forecourt with permeable paver or reinforced gravel space.
D4	Courtyard with permeable paver or reinforced gravel space to match D2 & D3.
D5	Low planting along edge to create barrier to DSD buildings.

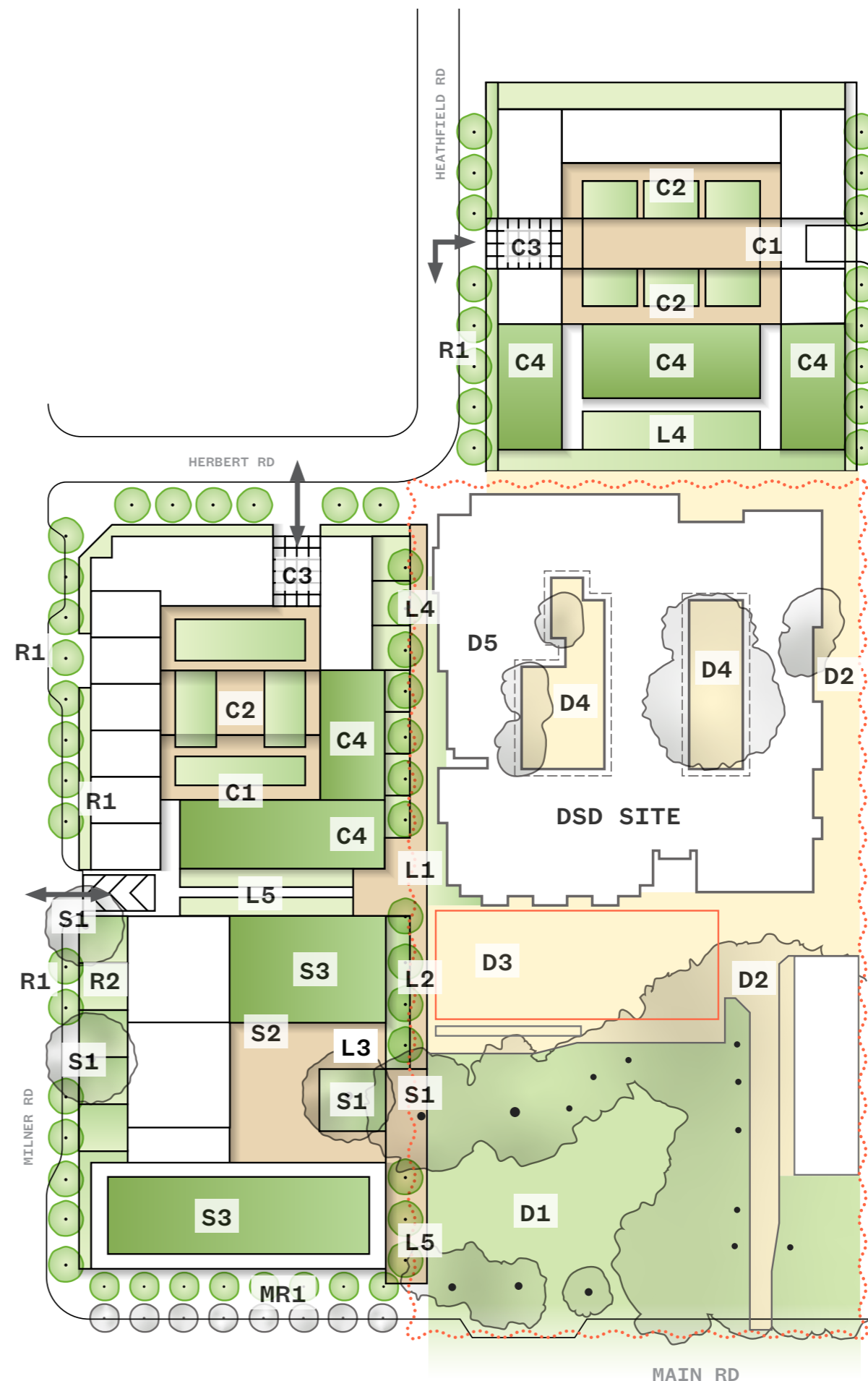


Figure 134. Integrated Landscape Framework Plan (Square One, 2026c: 23)

Specific measures to ensure the appropriate treatment of the open space in front of the old Ellerslie School building that will be carried forward and incorporated into redevelopment plans for that portion in due course stipulate:

- Material selection for vehicular and pedestrian movement routes to provide permeability (e.g. permeable pavers, reinforced gravel or decomposed granite)
- Material selection for the landscape surfaces (e.g. movement routes, paths, courtyards) to be of a uniform composition and complement the existing

cultural heritage building.

- Soft forecourt with heritage trees (protected species) to be maintained as private garden space. All non-invasive mature trees within the garden space to be retained regardless of heritage significance.
- Boundary wall between laneway and DSD site to provide physical barrier whilst allowing view of trees within private garden.
- Provide low planting strip with the north-east boundary along the laneway to provide a physical barrier, whilst also enhancing the experience of the public laneway.



Figure 135. Precedent images illustrating mixed-use, high density developments that offer secure, inclusive, convenient living in accommodation that responds to its context (Zutari, 2026c: 14-17)

10.0. HERITAGE IMPACT CONSIDERATIONS

10.1. Archaeological Impacts

While below ground interventions could yield archaeological finds anywhere across the property, as already identified, it is the immediate vicinity of the old homestead that is of highest archaeological sensitivity.

As this entire area is excluded from development, archaeological impacts are limited.

Should remnant fabric from the historic alignment of Ellerslie Road remain on site, this would be destroyed by development in this area.

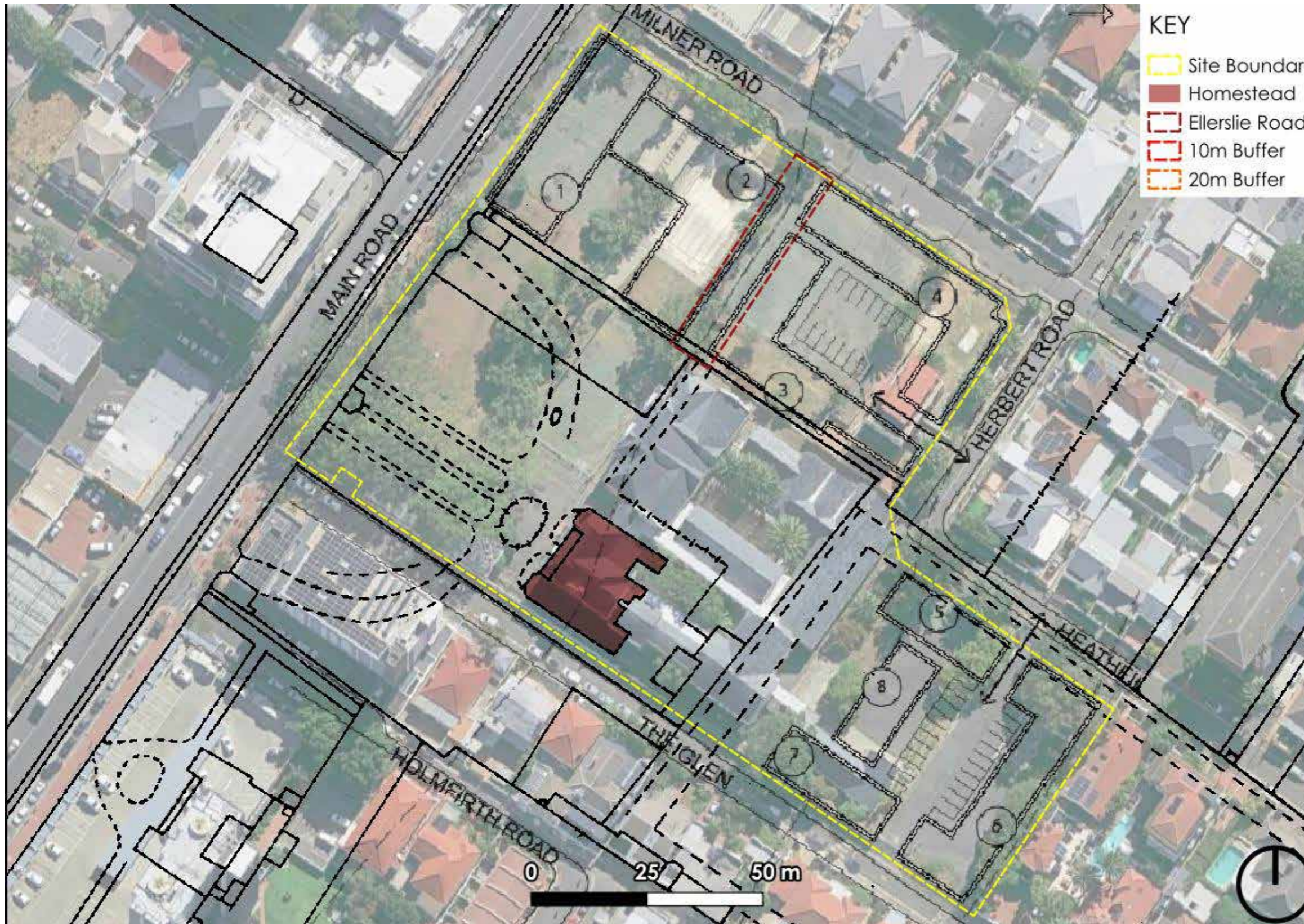


Figure 136. SDP and subdivision plan overlaid on archaeological sensitivity mapping (RSA, 2025: 20)

10.2. Social History Impacts

The redevelopment of the site poses the risk of severing the tangible and associational links it retains to its social history that spans the history of the schools and the more recent histories of housing activism and campaigns for social and spatial justice.

With 50.9% of the available residential GLA given over to social housing, and with three-bedroomed, family apartments included in that provision, the proposed development can be seen to have positive impacts in terms of spatial justice and affordable housing, two of the more tangible informants of the socio-historical study (Roux, 2025).

The absence of affordable housing - defined as developments that offer homes at lower prices compared to the general market, making them more accessible for those with limited income. - from the scheme necessarily limits the provision of housing only to those families who comply with the requirements.

Failure, however, to provide adequate measures for the development to achieve integration and community connection, will have negative impacts on all residents and the local Sea Point community.

The demolition of Wynyard Mansions will represent the loss of a tangible link to the long history of social housing on the site, but this is mitigated through the social housing aspects of the development.

While recognising that, as a school amenity, the Ellerslie forecourt green space was not historically a public space, re-imagining the forecourt as a more accessible public, shared or semi-public amenity would be in line with the socio-historical research findings around the school and Wynyard Mansions as spaces of belonging, community integration, arrival and connection. The as-yet-undefined future use of the school building by DSD may be associated with practicalities and legal provisions which are incompatible with such public access.

Future Management of the Forecourt:

1. Public land: There is a distinction between publicly owned land and public space. It is significant that the garden and school building, along with the rest of the erf, will remain in public ownership. In other words, this land is not

intended for private development, regardless of the level of public access made possible or not by DSD's future plans for the site. The retention of public ownership is in keeping with the social history findings around the site as a community resource. It would be advisable to make this provision explicit for future management planning.

2. Contingent access: Historically, the usage of the former school building has determined the level of public access to the garden, and it is likely that this linked determination will continue in future. (For example, if the building were to be used as a children's home or educational facility, it is unavoidable that there would need to be far more stringent privacy and access restrictions for the garden than if the building were to be used as, for example, a community centre.)
3. Heritage values and sense of place: That said, the green space has historically been integral to the school's social history in terms of building a sense of belonging, fostering a sense of place, and acting as an important social and recreational space in relation to the school building. The green space also creates a sense of place and a green 'pause' in the urban landscape, even if only visually. Continuation of these meanings and values, and their extension to the surrounding community, should be supported as far as is practically possible.
4. Continuum of possibilities: Meaningful efforts should be made to ensure some form of public access to the garden, in line with DSD's practical needs for the former school building. At a minimum, the garden must be visually accessible from the housing and mixed use development portion. A baseline level of visual permeability is in line with the forecourt's historical presence, accessibility and meaning. Insofar as possible, some measure of physical public access would be in line with the site's historical social meanings and significance. This may not necessarily be a binary choice between a fully enclosed or fully public space. For example, well-placed gateways could allow accessibility at some times and closure at others. It would be advisable for the spatial framework to propose a continuum of possibilities for the forecourt, to account for different levels of access and permeability in line with DSD's potential uses of the school building. These would provide a guideline for establishing appropriate levels of public access once the future of the school building is clearer. The guiding principle should be to allow for as much public access as possible, within the constraints of DSD's requirements.

10.3. Townscape / Architectural Impacts

The proposed sub-division does not in itself cause any townscape or architectural impact.

No direct impacts will occur to any significant architectural resources on site. The most important built-form resources occur on the portion of the subdivided site outside of the development area. Controls and guidelines have been put in place to ensure appropriate setbacks and buffer areas.

The demolition of the pool and pool stand do not cause heritage impact.

Demolition of Wynyard Mansions does cause impact in that a large residential building representative of the mid twentieth century is removed from the site context. However, the building is not architecturally significant enough, nor sufficiently embedded in the context to warrant retention. When considered holistically with the integrated development, the site, context and implementation of the social housing programme is better served by its removal and replacement with a cohesive design that speaks to the streetscape, context and courtyard block model overall.

The northern end solid stone street walling and the central section pier and cast-iron panel walling each relate to earlier villas and development on the site, and of Sea Point. Retaining this intact will hinder the necessary street interface and public access to the site. (The more significant and imposing gates and walling in front of the school are to remain). Nonetheless total erasure of the wall would cause negative heritage impact and requires mitigation.

The proposed eight storey block is scaled to respond to the developing character of Main Road and to facilitate the social housing programme. Nonetheless, the character, interface condition and detailing could have negative impact on the PHS site if the detailing, materiality, nature of apertures and form of the building does not respond sensitively in a fine-grained manner.

10.4. Visual Impacts

In order to determine visual impacts, visual analysis has been conducted to assess the overall visibility of the proposed development from various locations. The visibility of the site is qualitatively described, and viewpoints are identified from which interventions at the site would be most noticeable (See Annexure P).

Viewshed Analysis

Visibility is described in terms of the viewshed areas calculated based on digitized aerial surveyed topographical (LiDAR) information, which includes for the size, scale and massing of the surrounding buildings, vegetation and urban infrastructure. It should be noted that the viewshed area shows locations from which only a portion of the development area could potentially be visible, i.e. the entire development will not be visible from all the areas shown in the viewshed area, but small portions of the development may be visible.

The proposed development will be mostly visible within a radius of 200m from the site with the streetscape and properties directly surrounding the development experiencing the highest impact. It will further be visible from a distance of 550m along Sea Point Main Road regardless of direction of travel, but will be partially screened and small within the receptor's field of view.

While the proposed development would also be visible from portions of Signal Hill, Lion's Head and Table Mountain, but at this distance, it will not dominate the field of view due to the large amount of contextual visual information visible from these vantage points and the fact that the proposed developments scale does not exceed that of many of the mixed used buildings that form part of the existing urban fabric of the Sea Point CBD.

Viewpoints

Following from the visual analysis, eight prominent viewpoints were identified towards the site to provide an indication of the existing vistas at the location where the most pronounced visual change would be experienced in the landscape:

- VP 1 – Looking in a north-westerly direction from The Glen to Main Road.
- VP 2 – Looking in a north-easterly direction from The Glen towards the Portion 1 development site.
- VP 3 – Looking in a south-westerly direction from the Bellevue Road sidewalk.
- VP 4 – Looking in a southerly direction towards the site from the Main Road and Marais Road sidewalk intersection.
- VP 5 – Looking in a westerly direction from Ocean View Drive towards the site.
- VP 6 – Looking in a south-easterly direction from Sea Point Promenade towards the site.
- VP 7 – Looking in a south-westerly direction down Sea Point Main Road towards the site.
- VP 8 – Looking in a north-easterly direction down Sea Point towards the site.

The viewpoints for the 11 storey scheme are presented here, followed by a comparison with the viewpoints for 8 storey scheme where these are affected by the reduction in height. In many instances, there are no differences in impacts.

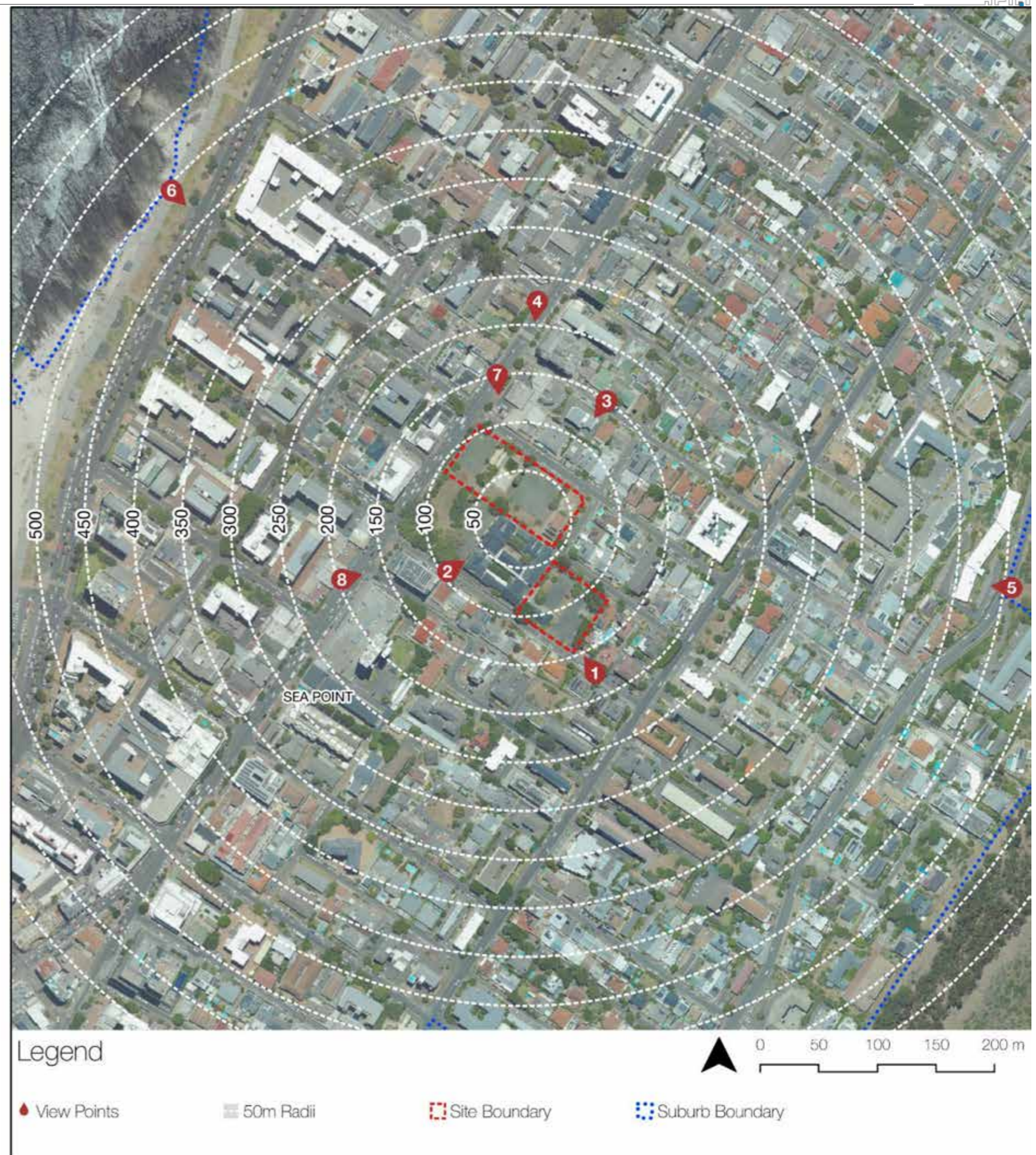


Figure 137. Viewpoint map (Square One, 2025)

VISUAL ASSESSMENT CRITERIA

This Section describes the visual criteria that will inform the impact assessment, as put forward in the VIA (Square One, 2026).

Visibility – Viewshed Area and Zone of Visual Influence

The zone of visual influence is defined as the area which is subject to the direct visual influence of the signage proposal (i.e., the areas from which the proposed development will be visible, taking existing screening elements into consideration). The zone of visual influence will be experienced at different scales by receptors located at various distances from the site. Visibility (viewshed area and zone of visual influence) is defined as follows:

- High visibility Visible from a large area (E.g.: several square kilometres, >5km radius).
- Moderate visibility Visible from an intermediate area (E.g.: several hectares, 2.5 – 5 km radius).
- Low visibility Visible from a small area around the project site (E.g.: <1km radius)

Visual Exposure

This is based on the degree to which the site is visually apparent and the distance from the proposed development to selected viewpoints. Exposure or visual impact tends to diminish exponentially with distance. Visual exposure is defined as follows:

- High exposure – Dominant or clearly noticeable.
- Moderate exposure – Recognisable to the viewer.
- Low exposure – Not particularly noticeable to the viewer.

Visual Absorption Capacity

The VAC of a site indicates how much of the project would be visually “absorbed” or “disappear”, into the receiving environment. VAC is defined as follows:

- High VAC – Effective screening by topography and vegetation.
- Moderate VAC – Partial screening by topography and vegetation.
- Low VAC – Little screening by topography or vegetation.

Visual Sensitivity of the Area

The level of visual impact considered acceptable is dependent on where the site is located in the receiving environment and the sensitivity of its location to development. Visual sensitivity can be defined as follows:

- High visual sensitivity – Highly visible and potentially sensitive areas in the landscape.
- Moderate sensitivity – Moderately visible areas in the landscape.
- Low visual sensitivity – Minimally visible areas in the landscape.

Visual Sensitivity of the Receptors

The level of visual impact considered acceptable is dependent on the type of receptors.

- High sensitivity – Residential areas, nature reserves and scenic routes or trails.
- Moderate sensitivity – Sporting or recreational areas, or places of work.
- Low sensitivity – Industrial or degraded areas.

Visual Intrusion

The visual intrusion that could potentially be caused by the proposed project is related to the level of compatibility or congruence of the proposed project with the particular qualities or sense of place of the surrounding areas. Visual intrusion relates to the concept of placing appropriate development typologies within their context to maintain landscape integrity and sense of place and is defined as follows:

- High visual intrusion – Noticeable change or conflicts with the surroundings.
- Moderate visual intrusion – Partially fits into the surroundings, but clearly noticeable.
- Low visual intrusion – Minimal change or blends in well with the surroundings.

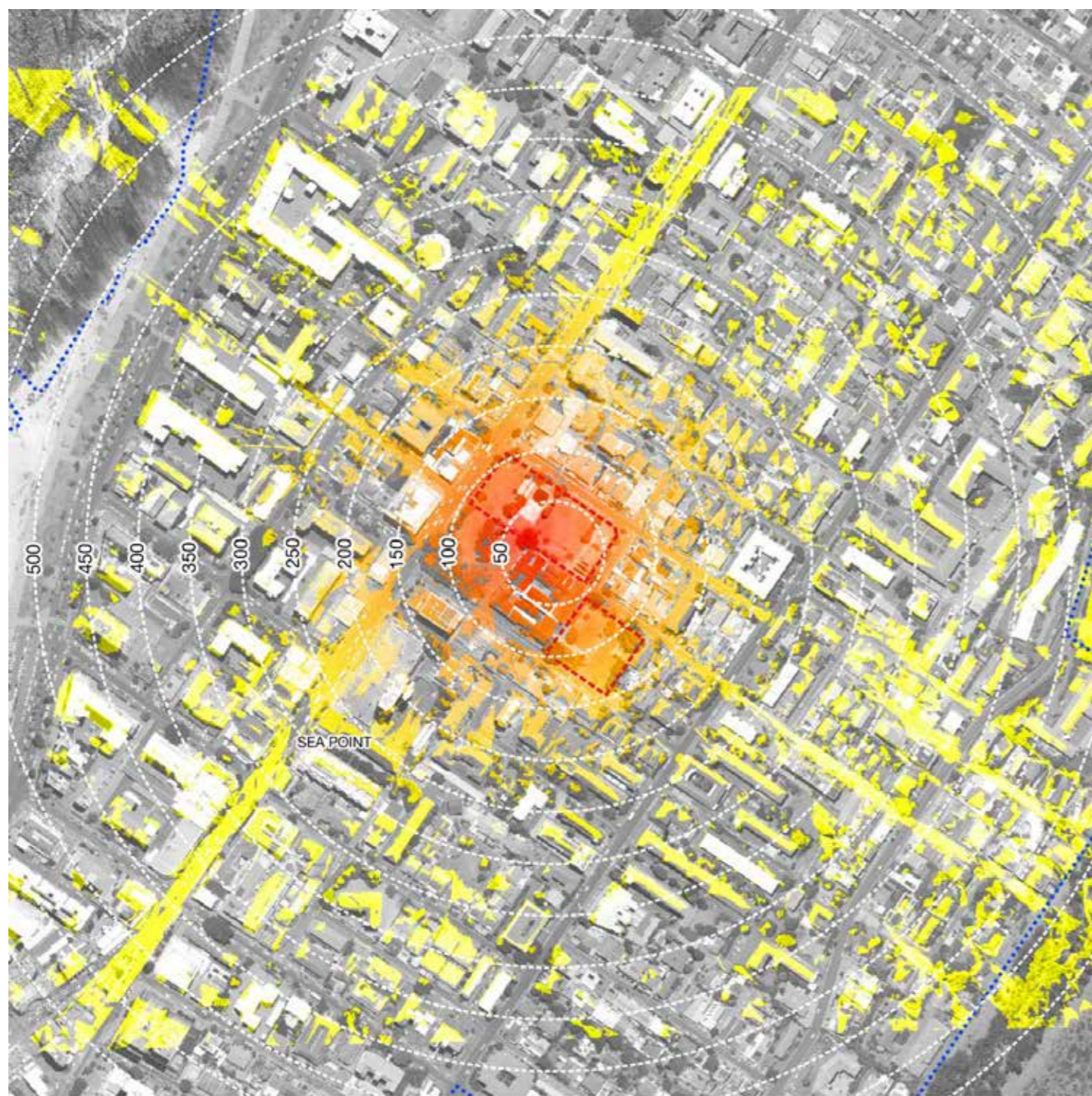


Figure 138. Viewshed and view shadow areas for the proposed development (Square One, 2025)

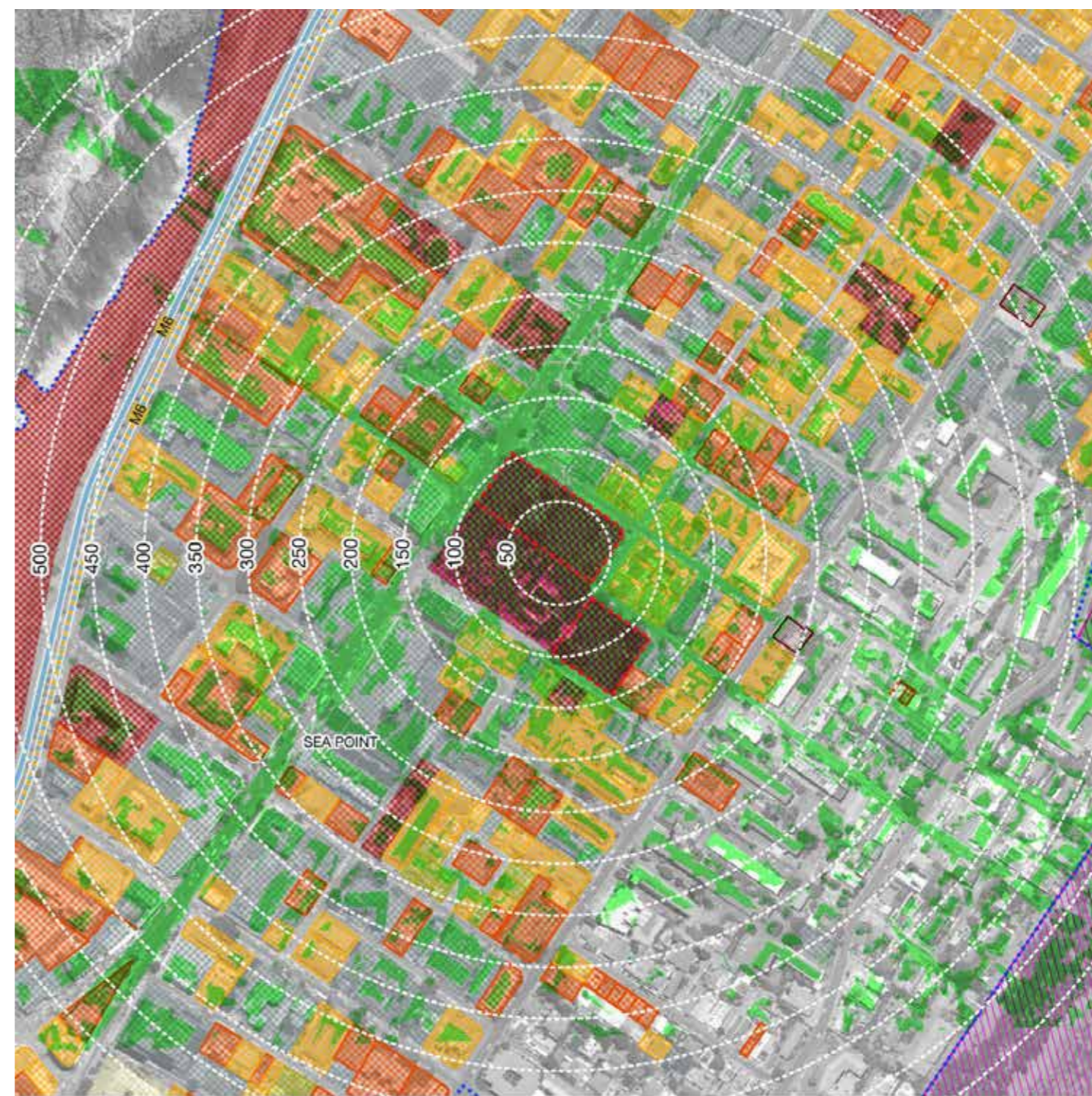


Figure 139. Viewshed and view shadow areas combined with the graded heritage resources and HPOZs (Square One, 2025)

Viewpoint 1

Viewpoint 1 illustrates the visual impact from The Glen when looking in a north-westerly direction, where the proposed development envelope is viewed from close proximity (approximately 15m). The proposed development (Portion 2) would have Low Visibility, primarily being seen from the immediate street and surrounding properties. From this viewpoint, however, the Visual Exposure is High, with the proposed massing appearing dominant and fundamentally altering the scale of the streetscape. The site has a Low Visual Absorption Capacity as there is minimal screening offered by existing vegetation or structures. Screening through landscape intervention is suggested along this boundary to increase the Visual Absorption Capacity to a Moderate rating. Given the established residential context, both the Visual Sensitivity of the Area and the Visual Sensitivity of the Receptors (residents and pedestrians) are considered High. The proposed building's scale and facade position on the edge of the property boundary introduces a High degree of Visual Intrusion, presenting a significant contrast to the adjacent low-rise heritage dwellings and noticeably changing the character and sense of place of the street.



Figure 140. Viewpoint 1, looking northwest from The Glen towards Main Road (Square One, 2025)

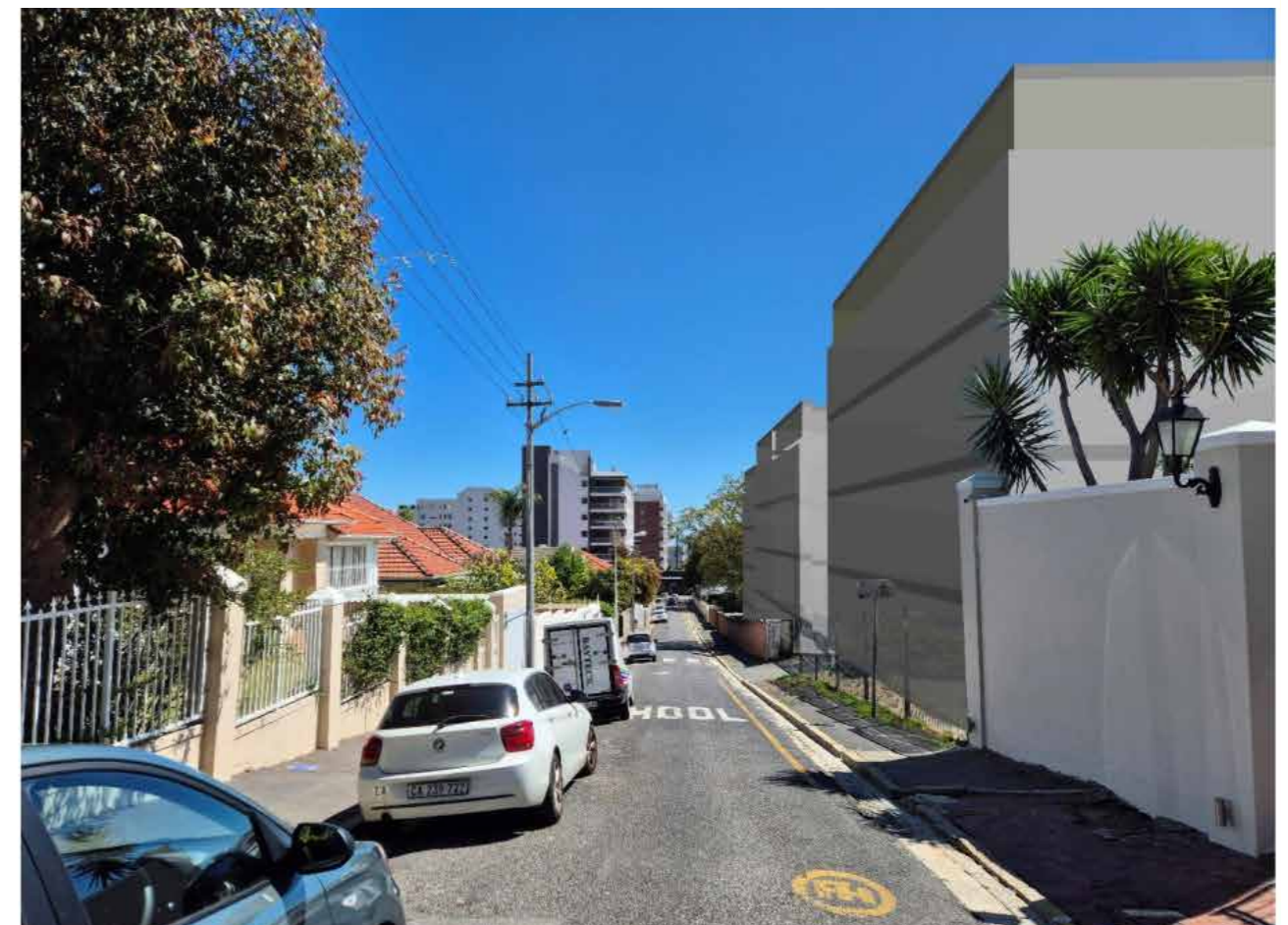


Figure 141. Viewpoint 1, photomontage looking northwest from The Glen towards Main Road (Square One, 2025)

Viewpoint 2

Viewpoint 2 illustrates the receptor's experience of the proposed development when viewing in a north-easterly direction from The Glen, approximately 70m from Portion 1 of the proposed development. The viewpoint is positioned behind the existing Tafelberg School building, a declared provincial heritage site. The proposed development's overall visibility is considered Low, as its view catchment is largely confined to the immediate streetscape. However, from this specific vantage point, the Visual Exposure is Moderate as the proposed building is recognisable to the viewer but is not a dominant feature. As a result of most mature trees being cleared from the Portion 1 development site, the site has a Low Visual Absorption Capacity. However, the large mature Ficus trees on the Tafelberg School site increase the Visual Absorption Capacity to a Moderate level as they do provide partial screening. Given the direct visual relationship with the adjacent existing Tafelberg School building, a graded provincial heritage site, the Visual Sensitivity of the Area is considered to be High. The receptors, comprising local residents, the general public, and heritage authorities, are also considered to be of Moderate to High sensitivity. Consequently, the proposed building's form and scale create a Moderate to High degree of Visual Intrusion from this viewpoint.

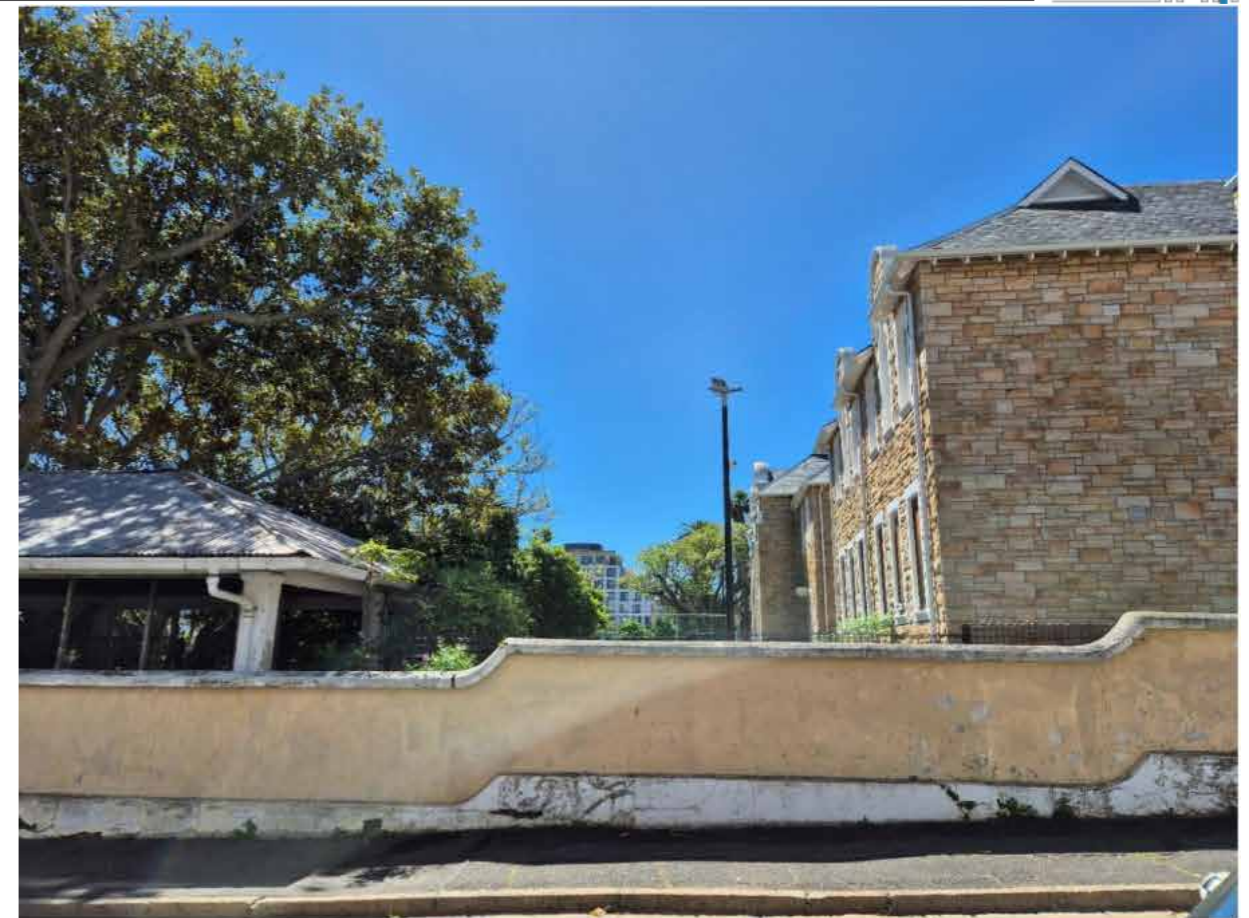


Figure 142. Viewpoint 2, looking northeast from The Glen towards the Portion 1 development site (Square One, 2025)



Figure 143. Viewpoint 2, photomontage looking northeast from The Glen towards the Portion 1 development site (Square One, 2025)

Viewpoint 3

Viewpoint 3 illustrates the receptor's experience of the proposed development at a distance of approximately 85m when viewing in a south-westerly direction from the significant heritage buildings on Bellevue Road. This vantage point provides a street-level perspective from the residential area within the HPOZ, characterized by a mix of building scales and heritage gradings. The most critical feature from this vantage point is the existing sightline to the peak of Lion's Head, a view that is partially obstructed by the proposal. The proposed development itself has Low visibility, as it would primarily be seen only from its immediate street context. Its Visual Exposure from this specific public vantage point is considered Low to Moderate as the building has the potential to be recognisable but not dominant within the field of view. The dense, fine grained urban setting offers a Moderate Visual Absorption Capacity, with partial screening from buildings but with no significant landscape elements to further screen or soften the structure's impact. The Visual Sensitivity of the Area is rated High, specifically because of its status as a heritage protection overlay zone and its view corridor to an iconic landmark, in this case Lion's Head. Consequently, the Visual Sensitivity of the Receptors such as residents and the public using the street, is also considered Moderate to High, with higher sensitivity likely to be experienced by local residents. From this vantage point, visual intrusion is considered Low to Moderate, as the proposed development has the potential to partially fit into the surroundings, but may be clearly noticeable when looking in the direction of the proposed development.



Figure 144. Viewpoint 3, looking south west from Bellevue Road (Square One, 2025)



Figure 145. Viewpoint 3, photomontage looking s(Square One, 2025)

Viewpoint 4

Viewpoint 4 is captured from the public sidewalk adjacent to the Sea Point Evangelical Congregational Church, a Grade 3A heritage resource situated on Main Road (M61), looking in a southerly direction. This vantage point frames the proposed development within a dynamic, mixed-use urban context that includes a significant visual corridor to Lion's Head. The development's overall visibility is rated as Moderate, as its visual influence, while substantial, is largely contained within the Sea Point corridor but is experienced by a very high volume of people. From this close range, however, its Visual Exposure is High as the proposed scale and form would become a dominant new element, fundamentally altering the streetscape's composition from this vantage point. It is noted that the massing and form of the proposed Concept 3A building allows for the partial protection of important views towards Lion's Head as well as the grain and nature of the site's context allowing for more harmonious integration. This in part aligns with the CoCT's Tall Building Policy. The site possesses a Low Visual Absorption Capacity, as the existing low-rise structures and open areas provide limited to no screening for the proposed bulk. Sea Point Main Road is an active commercial and residential node already characterized by mid-rise buildings (an example of this being the recently completed multistorey THREE43 on B residential block seen to the left of the frame) indicating a Low Visual Sensitivity to further infill development of this nature. However, the Visual Sensitivity of the Area should be further examined through the convergence of three critical factors: the direct adjacency to a protected provincial heritage site and multiple graded heritage resources, the inclusion of an iconic mountain view that contribute to the neighbourhood's character, and its location within a vital commercial and residential public realm. Given the above, the Visual Sensitivity of the Area is considered of Moderate to High sensitivity. The diverse receptors are therefore considered of Moderate to High sensitivity as well. Consequently, the proposal constitutes a Moderate degree of Visual Intrusion, integrating well with the established built scale of existing buildings in the area, but diminishing the view towards Lion's Head.



Figure 146. Viewpoint 4, looking south towards site from the Main Road and Marais Road intersection (Square One, 2025)

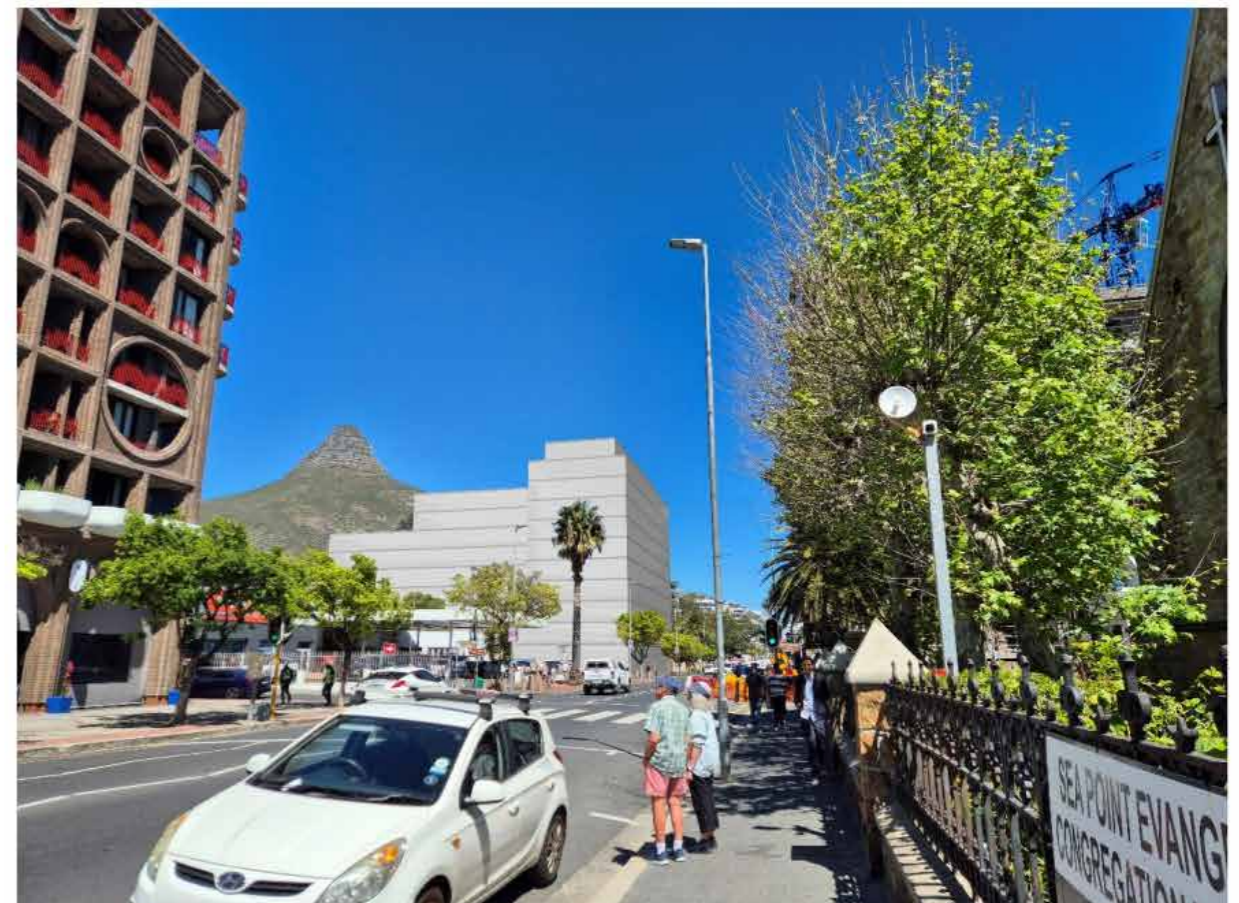


Figure 147. Viewpoint 4, photomontage looking south towards site from the Main Road and Marais Road intersection (Square One, 2025)

Viewpoint 5

Viewpoint 5 illustrates the receptor's experience of the proposed development looking in a Westerly direction from Ocean View Drive, approximately 360m from the site. The vantage point represents the general outlook experienced from residential properties located on the lower slopes of Signal Hill within the Sea Point urban area, orientated in a northwesterly direction toward the Atlantic Ocean. Such views are a significant amenity for residents in this area and contribute to the neighbourhood's character. From this specific vantage point, the dense urban fabric provides Moderate to High Visual Absorption Capacity. While a significant portion of the proposed development is screened by intervening structures, some elements remain directly visible in the midground, subtly altering the existing skyline. Consequently, the development has Low visibility in the broader context but a Moderate Visual Exposure from this specific viewpoint, as it is recognizable to the viewer but could blend into the receiving environment. Material selection and façade articulation will be key to achieving a Low visual intrusion from this vantage point. The Visual Sensitivity of the Area is rated as High, given that the integrity of panoramic sea views is fundamental to the area's sense of place and property values. Consequently, the Visual Sensitivity of the Receptors (local residents) is also High, as their visual amenity is directly tied to this expansive view. However, the level of Visual Intrusion is assessed as Low to Moderate. While the proposed development is visible and alters a portion of the midground urban view, it integrates into the existing pattern of buildings and does not significantly impact the primary sea view or the horizon line. The change is noticeable but does not fundamentally conflict with the overall character.



Figure 148. Viewpoint 5, looking west from Ocean Drive towards the site (Square One, 2025)



Figure 149. Viewpoint 5, photomontage looking west from Ocean Drive towards the site (Square One, 2025)

Viewpoint 6

Viewpoint 6 illustrates the receptor's experience of the proposed development at a distance of approximately 340m from the Portion 1 site, looking in a south-easterly direction towards Signal Hill and the proposed development. This viewpoint is taken from the Sea Point Promenade, near Graaf's Pool, a highly sensitive public space with a valued view corridor down Oliver Road toward Signal Hill. Beach Road, a declared scenic road can be seen in front of the large existing residential blocks. The proposed development has Low Visibility from this vantage point. Due to its the receptor's distance from the site and the significant screening provided by the large apartment blocks in the foreground and existing vegetation, its Visual Exposure is rated as Low to Moderate. This is due to the proposal being recognizable to the viewer but not a dominant feature in the wider landscape. The Visual Absorption Capacity is also Moderate as the proposal is partially screened from view. While the Visual Sensitivity of the Area and its Receptors (the general public) is considered High, the Visual Intrusion is considered Low. Although the development is noticeable and does incrementally encroach upon the mountain view, its limited visibility and potential integration within the existing urban fabric mean it harmoniously blends in with the surroundings urban environment, rather than creating a severe or dominant negative impact. It's worth noting that visual impacts of this nature align well with the guidelines and expectations set out in the CoCT's Tall Building Policy (2013) and Scenic Drive Network Management Plan (2003)..



Figure 150. Viewpoint 6, looking south east from the Promenade towards the site (Square One, 2025)



Figure 151. Viewpoint 6, photomontage looking south east from the Promenade towards the site (Square One, 2025)

Viewpoint 7

Viewpoint 7 illustrates the receptor's experience of the proposed development at a distance of approximately 50m from the site, looking in a south-westerly direction down Sea Point Main Road (M61) towards the proposed development. This close-up vantage point represents the view one may experience when traversing Sea Point's Main Road, where the existing vacant portion of the Tafelberg School site forms a break in the urban fabric, offering a view corridor to Lion's Head. The proposed development has Moderate visibility due to its location on a main arterial route, but its Visual Exposure from this public vantage point is High, as the building's scale and bulk would dominate the field of view. Given that most of the existing Portion 1 vegetation will be cleared, the proposed development site has a Low Visual Absorption Capacity. This is partly due to limited screening and the developments scale. The Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) are both rated as High, specifically because of the presence of this public view of Lion's Head, a natural landmark that contributes to the neighbourhood's character and sense of place. Consequently, the Visual Intrusion is High. This fundamentally transforms the character and visual amenity of the public streetscape from this viewpoint, constituting to a loss of scenic resource.



Figure 152. Viewpoint 7, looking south west down Sea Point Main Road towards the site (Square One, 2025)



Figure 153. Viewpoint 7, photomontage looking south west down Sea Point Main Road towards the site (Square One, 2025)

Viewpoint 8

Viewpoint 8 illustrates the receptor's experience of the proposed development at a distance of approximately 140m from the Portion 1 site, looking in a north-easterly direction from Main Road (M61) towards the proposed development. The development will have Low Visibility, with its zone of influence confined to the immediate street corridor. From this specific vantage point, it demonstrates Moderate Visual Exposure, as it is clearly recognizable but partially screened by foreground commercial buildings and mature trees, which in turn provide a Moderate Visual Absorption Capacity. Views towards the mountain are not compromised from this vantage point. Sea Point Main Road is an active commercial and residential node already characterized by midrise buildings, indicating a Low Visual Sensitivity to further infill development of this nature. However, the confirmed presence of buildings of significant heritage value, Grade 3B and 3C in view, elevates the Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) to a Moderate rating. Given the proposal's scale aligns with the adjacent multistorey blocks, it results in Moderate to Visual Intrusion, integrating well with the established built scale of existing buildings in the area and reducing in scale and form away from Main Road, in keeping with the guidelines set out in the CoCT's Tall Building Policy (2013) and Table Bay DSDP (2023).



Figure 154. Viewpoint 8, looking north east down Sea Point Main Road towards the site (Square One, 2025)



Figure 155. Viewpoint 8, photomontage looking north east down Sea Point Main Road towards the site (Square One, 2025)

10.4.2. 8 Storey Scheme Viewpoints and Photomontages (Square One, 2026)

Selected updated viewpoint montages are reproduced here where they illustrate visible difference between the 11 and 8 storey options.

Viewpoint 2: 11 Storey Option

The proposed development's overall visibility is considered Low, as its view catchment is largely confined to the immediate streetscape. However, from this specific vantage point, the Visual Exposure is Moderate as the proposed building is recognisable to the viewer but is not a dominant feature. As a result of most mature trees being cleared from the Portion 1 development site, the site has a Low Visual Absorption Capacity. However, the large mature Ficus trees on the Tafelberg School site increase the Visual Absorption Capacity to a Moderate level as they do provide partial screening. Given the direct visual relationship with the adjacent existing Tafelberg School building, a graded provincial heritage site, the Visual Sensitivity of the Area is considered to be High. The receptors, comprising local residents, the general public, and heritage authorities, are also considered to be of Moderate to High sensitivity. Consequently, the proposed building's form and scale create a Moderate to High degree of Visual Intrusion from this viewpoint.

Viewpoint 2: 8 Storey Option

The proposed development's overall visibility is considered Low, as its view catchment is largely confined to the immediate streetscape. From this specific vantage point, the Visual Exposure is reduced to Low to Moderate, while the proposed building remains recognisable, the revised massing/façade modulation associated with the reduction in height to 8 storeys ensures it is even less of a dominant feature and sits more comfortably behind the existing and vegetation. As a result of most mature trees being cleared from the Portion 1 development site, the site has a Low Visual Absorption Capacity. However, the large mature Ficus trees on the Tafelberg School site increase the Visual Absorption Capacity to a Moderate level as they provide significant partial screening of the building mass. Given the direct visual relationship with the adjacent existing Tafelberg School building, a graded provincial heritage site, the Visual Sensitivity of the Area is considered to be High. The receptors, comprising local residents, the general public, and heritage authorities, are also considered to be of Moderate to High sensitivity. Consequently, the reduced scale/revised massing of the proposed building results in a Moderate degree of Visual Intrusion from this viewpoint, as the massing competes less aggressively with the historic Tafelberg School building.

Mitigation measures to further reduce the visual impact of the proposed development remain unchanged.



Figure 156. Concept Option 3D: Viewpoint 2, looking northeast from The Glen towards the Portion 1 development site (Square One, 2025)



Figure 157. Concept Option 4: Viewpoint 2, photomontage looking northeast from The Glen towards the Portion 1 development site (Square One, 2026)

Viewpoint 4: 11 Storey Option

Viewpoint 4 is captured from the public sidewalk adjacent to the Sea Point Evangelical Congregational Church, a Grade 3A heritage resource situated on Main Road (M61), looking in a southerly direction. This vantage point frames the proposed development within a dynamic, mixed-use urban context that includes a significant visual corridor to Lion's Head.

The development's overall visibility is rated as Moderate, as its visual influence, while substantial, is largely contained within the Sea Point corridor but is experienced by a very high volume of people. From this close range, however, its Visual Exposure is High as the proposed scale and form would become a dominant new element, fundamentally altering the streetscape's composition from this vantage point. It is noted that the massing and form of the proposed Concept 3A building allows for the partial protection of important views towards Lion's Head as well as the grain and nature of the site's context allowing for more harmonious integration. This in part aligns with the CoCT's Tall Building Policy. The site possesses a Low Visual Absorption Capacity, as the existing low-rise structures and open areas provide limited to no screening for the proposed bulk. Sea Point Main Road is an active commercial and residential node already characterized by mid-rise buildings (an example of this being the recently completed multistorey THREE43 on B residential block seen to the left of the frame) indicating a Low Visual Sensitivity to further infill development of this nature. However, the Visual Sensitivity of the Area should be further examined through the convergence of three critical factors: the direct adjacency to a protected provincial heritage site and multiple graded heritage resources, the inclusion of an iconic mountain view that contribute to the neighbourhood's character, and its location within a vital commercial and residential public realm.

Given the above, the Visual Sensitivity of the Area is considered of Moderate to High sensitivity. The diverse receptors are therefore considered of Moderate to High sensitivity as well. Consequently, the proposal constitutes a Moderate degree of Visual Intrusion, integrating well with the established built scale of existing buildings in the area, but diminishing the view towards Lion's Head.

Viewpoint 2: 8 Storey Option

The development's overall visibility is rated as Moderate, as its visual influence, while substantial, is largely contained within the Sea Point corridor but is experienced by a very high volume of people. From this close range, the Visual Exposure is now considered Moderate (previously High). While the building remains a recognizable element in the streetscape, the reduction

in height to 8 storeys significantly reduces its dominance, preventing it from overwhelming the pedestrian realm or the adjacent heritage context.

It is noted that the reduced massing and form of the revised proposal allows for the substantial retention of important views towards Lion's Head, revealing the lower slopes and maintaining the mountain's silhouette as a primary backdrop. This aligns with the CoCT's Tall Building Policy regarding the protection of view corridors.

The site possesses a Low Visual Absorption Capacity, as the existing low-rise structures and open areas provide limited to no screening for the proposed bulk. Sea Point Main Road is an active commercial and residential node already characterized by mid-rise buildings (an example of this being the recently completed multistorey THREE43 on B residential block seen to the left of the frame) indicating a Low Visual Sensitivity to further infill development of this nature. However, the Visual Sensitivity of the Area should be further examined through the convergence of three critical factors: the direct adjacency to a protected provincial heritage site and multiple graded heritage resources, the inclusion of an iconic mountain view that contributes to the neighbourhood's character, and its location within a vital commercial and residential public realm. Given the above, the Visual Sensitivity of the Area is considered of Moderate to High sensitivity. The diverse receptors are therefore considered of Moderate to High sensitivity as well.

Consequently, the proposal now constitutes a Low to Moderate degree of Visual Intrusion. The revised scale integrates harmoniously with the established built fabric, sitting comfortably below the visual datum of neighbouring mid-rise buildings, and critically, it further preserves the legibility of the Lion's Head view corridor.

Mitigation measures to further reduce the visual impact of the proposed development remain unchanged.

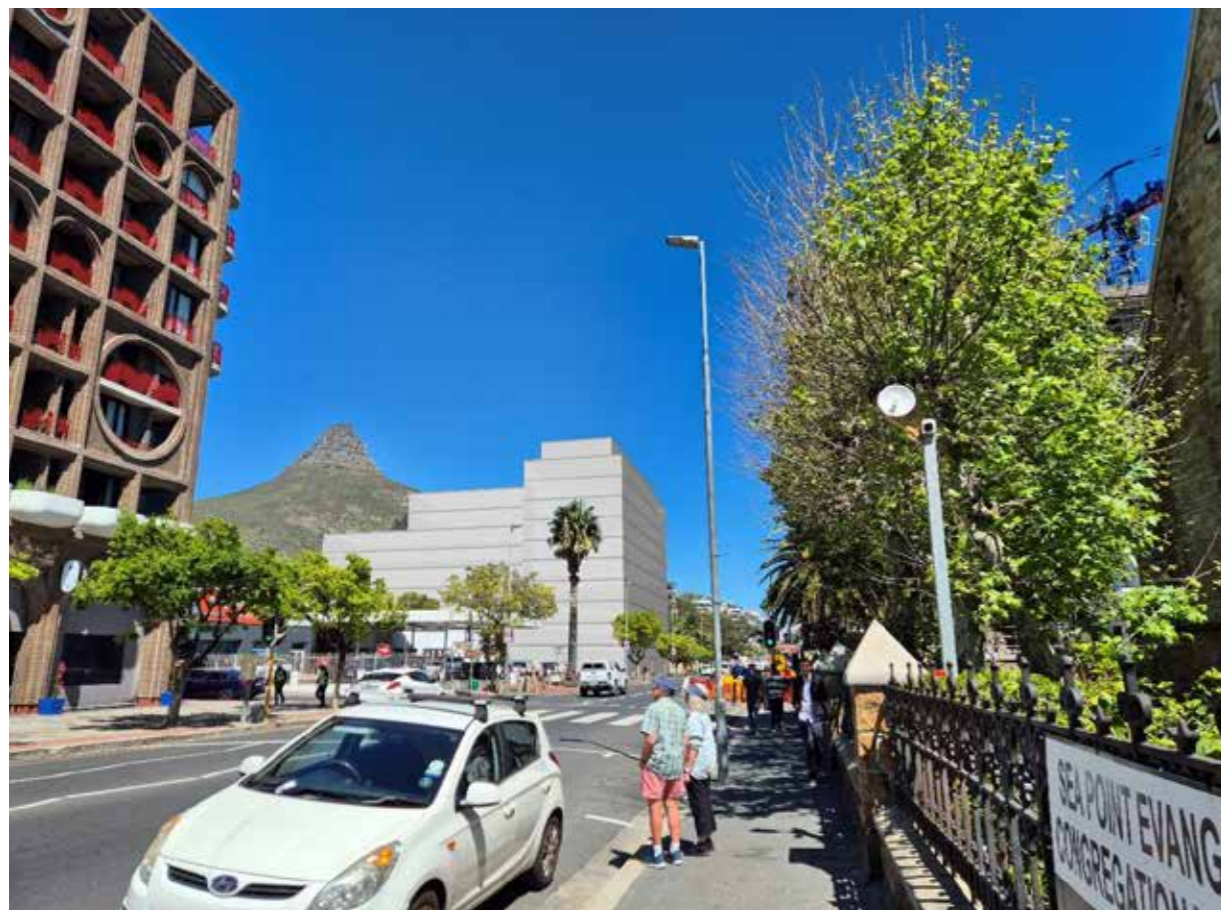


Figure 158. Concept Option 3D: Viewpoint 4, looking south towards site from the Main Road and Marais Road intersection (Square One, 2025)



Figure 159. Concept Option 4: Viewpoint 4, photomontage looking south towards site from the Main Road and Marais Road intersection (Square One, 2026)

Viewpoint 5: 11 Storey Option

Viewpoint 5 illustrates the receptor's experience of the proposed development looking in a Westerly direction from Ocean View Drive, approximately 360m from the site. The vantage point represents the general outlook experienced from residential properties located on the lower slopes of Signal Hill within the Sea Point urban area, orientated in a northwesterly direction toward the Atlantic Ocean. Such views are a significant amenity for residents in this area and contribute to the neighbourhood's character. From this specific vantage point, the dense urban fabric provides Moderate to High Visual Absorption Capacity. While a significant portion of the proposed development is screened by intervening structures, some elements remain directly visible in the midground, subtly altering the existing skyline. Consequently, the development has Low visibility in the broader context but a Moderate Visual Exposure from this specific viewpoint, as it is recognizable to the viewer but could blend into the receiving environment. Material selection and façade articulation will be key to achieving a Low visual intrusion from this vantage point. The Visual Sensitivity of the Area is rated as High, given that the integrity of panoramic sea views is fundamental to the area's sense of place and property values. Consequently, the Visual Sensitivity of the Receptors (local residents) is also High, as their visual amenity is directly tied to this expansive view. However, the level of Visual Intrusion is assessed as Low to Moderate. While the proposed development is visible and alters a portion of the midground urban view, it integrates into the existing pattern of buildings and does not significantly impact the primary sea view or the horizon line. The change is noticeable but does not fundamentally conflict with the overall character.

Viewpoint 5: 8 Storey Option

From this specific vantage point, the dense urban fabric provides a High Visual Absorption Capacity. The revised 8-storey proposal is significantly more recessive than the previous iteration and the reduction in height means the building mass is now largely screened by the intervening structures, specifically the apartment blocks in the immediate foreground. Consequently, the development has negligible to Low visibility in the broader context and a Low Visual Exposure from this specific viewpoint, as it is barely recognizable to the viewer and is effectively subsumed by the receiving environment.

The Visual Sensitivity of the Area is rated as High, given that the integrity of panoramic sea views is fundamental to the area's sense of place and property values. Consequently, the Visual Sensitivity of the Receptors (local residents) is also High, as their visual amenity is directly tied to this expansive view. However, due to the effective screening of the reduced massing, the level of Visual

Intrusion is assessed as Low. The proposed development does not impact the primary sea view or the horizon line and integrates seamlessly into the existing pattern of buildings without altering the skyline or the overall character of the view.

Mitigation measures to further reduce the visual impact of the proposed development remain unchanged.



Figure 160. Concept Option 3D: Viewpoint 5, looking west from Ocean Drive towards the site (Square One, 2025)



Figure 161. Concept Option 4: Viewpoint 5, photomontage looking west from Ocean Drive towards the site (Square One, 2026)

Viewpoint 6: 11 Storey Option

Viewpoint 6 illustrates the receptor's experience of the proposed development at a distance of approximately 340m from the Portion 1 site, looking in a south-easterly direction towards Signal Hill and the proposed development. This viewpoint is taken from the Sea Point Promenade, near Graaf's Pool, a highly sensitive public space with a valued view corridor down Oliver Road toward Signal Hill. Beach Road, a declared scenic road can be seen in front of the large existing residential blocks. The proposed development has Low Visibility from this vantage point. Due to its the receptor's distance from the site and the significant screening provided by the large apartment blocks in the foreground and existing vegetation, its Visual Exposure is rated as Low to Moderate. This is due to the proposal being recognizable to the viewer but not a dominant feature in the wider landscape. The Visual Absorption Capacity is also Moderate as the proposal is partially screened from view. While the Visual Sensitivity of the Area and its Receptors (the general public) is considered High, the Visual Intrusion is considered Low. Although the development is noticeable and does incrementally encroach upon the mountain view, its limited visibility and potential integration within the existing urban fabric mean it harmoniously blends in with the surroundings urban environment, rather than creating a severe or dominant negative impact. It's worth noting that visual impacts of this nature align well with the guidelines and expectations set out in the CoCT's Tall Building Policy (2013) and Scenic Drive Network Management Plan (2003)..

Viewpoint 6: 8 Storey Option

The proposed development has negligible to Low Visibility from this vantage point. Due to the receptor's distance from the site and the significant screening provided by the large apartment blocks in the foreground and existing vegetation, its Visual Exposure is rated as Low. The reduction in height to 8 storeys means the building is now largely obscured by the intervening urban fabric and tree canopy, making it barely recognizable to the viewer. The Visual Absorption Capacity is considered High as the proposal is effectively absorbed into the existing backdrop.

While the Visual Sensitivity of the Area and its Receptors (the general public) is considered High, the Visual Intrusion is considered negligible to Low. Unlike the previous proposal, the revised 8-storey option does not encroach upon the mountain view or the skyline. Its limited visibility ensures that it respects the existing urban grain and preserves the integrity of the view corridor toward Signal Hill. This outcome aligns strongly with the guidelines and expectations set out in the CoCT's Tall Building Policy (2013) and Scenic Drive Network

Management Plan (2003), favouring a recessive built form in sensitive contexts.

Mitigation measures to further reduce the visual impact of the proposed development are therefore deemed not necessary as the overall visual impact from this vantage point is considered negligible to Low.



Figure 162. Concept Option 3D: Viewpoint 6, looking south east from the Promenade towards the site (Square One, 2025)



Figure 163. Concept Option 4: Viewpoint 6, photomontage looking south east from the Promenade towards the site (Square One, 2026)

Viewpoint 7: 11 Storey Option

Viewpoint 7 illustrates the receptor's experience of the proposed development at a distance of approximately 50m from the site, looking in a south-westerly direction down Sea Point Main Road (M61) towards the proposed development. This close-up vantage point represents the view one may experience when traversing Sea Point's Main Road, where the existing vacant portion of the Tafelberg School site forms a break in the urban fabric, offering a view corridor to Lion's Head. The proposed development has Moderate visibility due to its location on a main arterial route, but its Visual Exposure from this public vantage point is High, as the building's scale and bulk would dominate the field of view. Given that most of the existing Portion 1 vegetation will be cleared, the proposed development site has a Low Visual Absorption Capacity. This is partly due to limited screening and the developments scale. The Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) are both rated as High, specifically because of the presence of this public view of Lion's Head, a natural landmark that contributes to the neighbourhood's character and sense of place. Consequently, the Visual Intrusion is High. This fundamentally transforms the character and visual amenity of the public streetscape from this viewpoint, constituting to a loss of scenic resource.

Viewpoint 7: 8 Storey Option

The proposed development has Moderate visibility due to its location on a main arterial route. However, due to the reduction in height to 8 storeys, the Visual Exposure from this public vantage point is downgraded from High to Moderate to High. While the building remains a significant element in the field of view, the reduced scale mitigates the overwhelming "wall" effect associated with the previous 11-storey iteration, allowing the structure to sit more comfortably within the street corridor without dominating the pedestrian experience to the same degree.

Given that most of the existing Portion 1 vegetation will be cleared, the proposed development site has a Low Visual Absorption Capacity, partly due to limited screening. The Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) are both rated as High, specifically because of the presence of this public view of Lion's Head, a natural landmark that contributes to the neighbourhood's character and sense of place. Consequently, the Visual Intrusion is considered Moderate to High. While the development still alters the character of the site by filling the vacant gap/view corridor, the revised massing offers a better transition in scale relative to the immediate streetscape and the mature trees lining the road. The proposal feels less visually overpowering, representing a distinct improvement in how the

built form interfaces with the public domain when compared to the original 11 storey proposal.

Mitigation measures to further reduce the visual impact of the proposed development remain unchanged.



Figure 164. Concept Option 3D: Viewpoint 7, looking south west down Sea Point Main Road towards the site (Square One, 2025)



Figure 165. Concept Option 4: Viewpoint 7, photomontage looking south west down Sea Point Main Road towards the site (Square One, 2026)

Viewpoint 8: 11 Storey Option

Viewpoint 8 illustrates the receptor's experience of the proposed development at a distance of approximately 140m from the Portion 1 site, looking in a north-easterly direction from Main Road (M61) towards the proposed development. The development will have Low Visibility, with its zone of influence confined to the immediate street corridor. From this specific vantage point, it demonstrates Moderate Visual Exposure, as it is clearly recognizable but partially screened by foreground commercial buildings and mature trees, which in turn provide a Moderate Visual Absorption Capacity. Views towards the mountain are not compromised from this vantage point. Sea Point Main Road is an active commercial and residential node already characterized by midrise buildings, indicating a Low Visual Sensitivity to further infill development of this nature. However, the confirmed presence of buildings of significant heritage value, Grade 3B and 3C in view, elevates the Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) to a Moderate rating. Given the proposal's scale aligns with the adjacent multistorey blocks, it results in Moderate to Visual Intrusion, integrating well with the established built scale of existing buildings in the area and reducing in scale and form away from Main Road, in keeping with the guidelines set out in the CoCT's Tall Building Policy (2013) and Table Bay DSDP (2023).

Viewpoint 8: 8 Storey Option

The development will have Low Visibility, with its zone of influence confined to the immediate street corridor. From this specific vantage point, the Visual Exposure is now rated as Low (previously Moderate). The reduction in height ensures that the building is largely screened by the foreground commercial buildings and, most notably, the mature Ficus trees which provide a High effective Visual Absorption Capacity for a building of this reduced scale.

Views towards the mountain are not compromised from this vantage point. Sea Point Main Road is an active commercial and residential node already characterized by mid-rise buildings, indicating a Low Visual Sensitivity to further infill development of this nature. However, the confirmed presence of buildings of significant heritage value, Grade 3B and 3C in view, elevates the Visual Sensitivity of the Area and its Receptors (the general public using the sidewalk and road) to a Moderate rating. Consequently, the proposal results in a Low degree of Visual Intrusion. The revised massing sits unobtrusively within the existing urban fabric, respecting the scale of the immediate street interface and aligning comfortably with the guidelines set out in the CoCT's Tall Building Policy (2013) and Table Bay DSDP (2023).

Mitigation measures to further reduce the visual impact of the proposed development remain unchanged.



Figure 166. Concept Option 3D: Viewpoint 8, looking north east down Sea Point Main Road towards the site (Square One, 2025)



Figure 167. Concept Option 4: Viewpoint 8, photomontage looking north east down Sea Point Main Road towards the site (Square One, 2026)

Birds-Eye Views

A number of birds-eye views were created to illustrate the proposed building within its surrounding context using publicly accessible Google Earth Lidar datasets. The location of the building is shown with a yellow marker in each of the images. The existing Tafelberg School building is shown with a red marker where necessary.

The townscape of Sea Point is defined by a distinct high-density, linear urban structure compressed between the steep slopes of Signal Hill to the east and the Atlantic Seaboard to the west. The urban structure and built form are dominated by a mixed-use, multi-storey typology, particularly along Main Road, which forms a dense “urban canyon” of ground-floor retail and mid-to-high-rise residential apartments.

An assessment of the proposed Concept 4 development's scale, massing, and form, as illustrated in the below views, indicates a response that is consistent with the established character of the Sea Point townscape. The proposed scale, while taller than some of its immediate low-rise neighbours, is appropriate as it remains subordinate to the taller high-rise apartment blocks that define the broader urban skyline, particularly towards the beachfront. The development effectively reinforces the dense, mid-rise “urban wall” typology that is characteristic of the Main Road corridor while reducing in scale and bulk towards Signal Hill. Furthermore, the massing is not monolithic, it is successfully articulated into several distinct rectilinear volumes. This modulation of the form is a critical design choice that reduces the development's perceived bulk, prevents the creation of an overly dominant or uniform facade, and aligns with the varied, block-like forms of the surrounding modern and heritage buildings.



Figure 168. Birds-eye view of the Concept Option 4 looking in a southerly direction towards Table Mountain, showing the surrounding townscape associated with the development site (Square One, 2026)



Figure 169. Birds-eye view of Concept Option 4 looking towards the Atlantic Ocean in a north-westerly direction (Square One, 2026)



Figure 171. Birds-eye view of Concept Option 4 looking towards Signal Hill in a south-easterly direction (Square One, 2026)

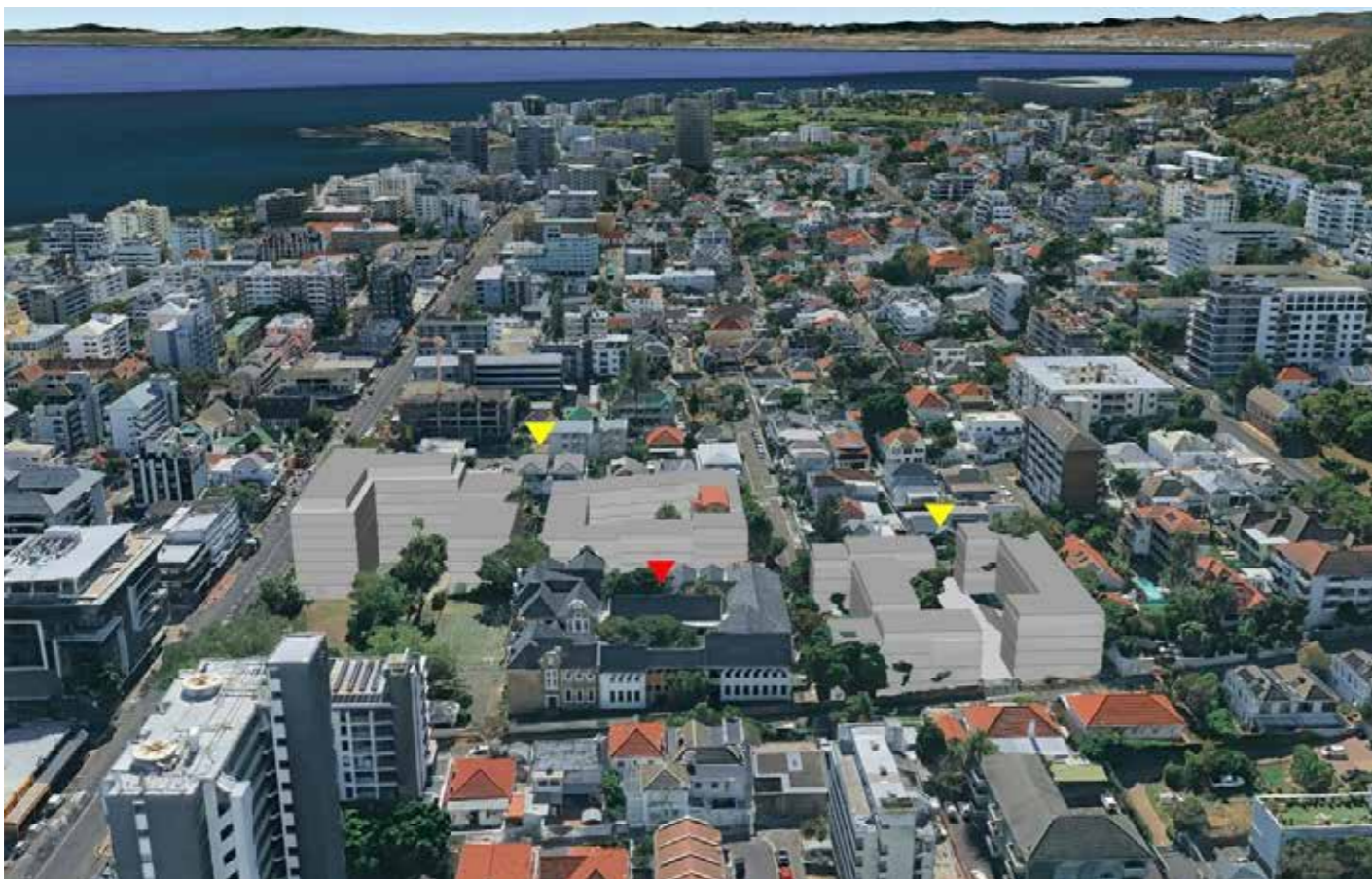


Figure 170. Birds-eye view of Concept Option 4 looking towards Green Point and Mouille Point in a north-easterly direction (Square One, 2026)



Figure 172. Birds-eye view of Concept Option 4 looking towards Lions Head in a south-easterly direction (Square One, 2026)

Assessment of Visual Impacts

Potential visual impacts have been assessed according to Square One's impact rating criteria. This methodology is based on the EIA Regulations and the Basic Assessment Report template provided by DEA&DP.

Potential Visual Impacts of the Project

Construction Phase:

- Potential dust, and wind-blown sand caused by heavy construction vehicles/ machinery.
- Potential visual detracting and scarring of the landscape resulting from the construction activities and earthworks of the proposed development where it is constructed on steep slope up signal hills lower slopes.
- Increased construction vehicle traffic on Main Road, High Level Road and the connecting residential minor roads.

Operation Phase:

- Visual intrusion on surrounding residents within the primarily residential low-rise Sea Point HPOZ.
- Visual intrusion of elevated lighting at night.

Impact Rating Criteria

Nature of the impact

This is an appraisal of the type of effect (positive or negative) the construction, operation and maintenance of a development would have on the affected receiving environment. This description should include what is to be affected.

Extent of the impact

Extent defines the physical extent or spatial scale of the impact. The impact could be:

- Site specific: limited to the site.
- Local: limited to the site and the immediate surrounding area (1-10km)
- Regional: covers an area that includes an entire geographic region or extends beyond one region to another.
- National: across national boundaries and may have national implications.

Duration of the impact

The specialist should indicate whether the lifespan of the impact would be:

- Short term: 0-5 years.
- Medium term: 5-15 years.
- Long term: beyond the operational phase, but not permanently.

- Permanent: where mitigation either by natural processes or by human intervention will not occur in such a way or in such time span that the impact can be considered transient.

Consequence of Impact

Indicate how the activity will affect the environment.

Probability of occurrence

Probability describes the likelihood of the impact occurring. The likelihood can be described as:

- Improbable/unlikely: low likelihood of the impact occurring.
- Probable: distinct possibility the impact will occur.
- Highly probable: most likely that the impact will occur.
- Definite: impact will occur regardless of any prevention measures.

Irreplaceable loss of resources

Describes the degree to which resources will be irreplaceably lost due to the proposed activity. It can be no loss of resources, marginal loss, significant loss or complete loss of resources.

Reversibility

This refers to the degree to which an impact can be reversed.

- Fully reversible: where the impact can be completely reversed.
- Partly reversible: where the impact can be partially reversed.
- Irreversible: where the impact is permanent.

Indirect impacts

Indirect impacts are secondary impacts and usually occur at a different place or time. Specialists will need to elaborate on any indirect or secondary impacts of proposed activities. If there are no indirect impacts specialist will need to briefly explain so.

Cumulative impact

An effect which in itself may not be significant but may become significant if added to other existing or potential impacts that may result from activities associated with the proposed project. Cumulative impacts prior to and post mitigation must be assessed. The cumulative effect can be:

- Negligible: the impact would result in negligible to no cumulative effect.
- Low: the impact would result in insignificant cumulative effects.
- Medium: the impact would result in minor cumulative effects.
- High: the impact would result in significant cumulative effects.

Degree to which impact can be avoided

This indicates the degree to which an impact can be avoided. The degree of avoidance can either be high (impact is completely avoidable), moderate (impact is avoidable with moderate mitigation), low (the impact is difficult to avoid and will require significant mitigation measures) or unavoidable (the impact cannot be avoided even with significant mitigation measures).

Can the impact be avoided and if so, how can it be avoided (example: demarcation of no-go areas).

Degree to which impact can be managed

This indicates the degree to which an impact can be managed. The degree of management can either be high (impact is completely manageable), moderate (impact is manageable with moderate mitigation), low (the impact is difficult to manage and will require significant mitigation measures) or unmanageable (the impact cannot be managed even with significant mitigation measures).

How can the impact be managed over time (example: clearance of alien vegetation)

Residual impacts

Residual impacts are those impacts that remain following the implementation of mitigation measures. Residual impacts must be identified and discussed. If there are no residual impacts, the specialist will need to briefly explain that the activity will have no residual impacts.

Degree to which an impact can be mitigated

This indicates the degree to which an impact can be reduced. The degree of mitigation can either be high (the impact can be fully mitigated), moderate (the impact can be partly mitigated) or not mitigated at all.

Significance

Based on a synthesis of the information contained in the above-described procedure, the significance of the potential impacts can be assessed (prior and post mitigation) in terms of the following significance criteria:

- No impact.
- Low negative: where it would have negligible effects, and would require little or no mitigation.
- Low positive: the impact will have minor positive effects.
- Medium negative: the impact will have moderate negative effects and will require moderate mitigation.

- Medium positive: the impact will have moderate positive effects.
- High negative: the impact will have significant effects and will require significant mitigation measures to achieve an accepted level of impact.
- High positive: the impact will have significant positive effects.
- Very high negative: the impact will have highly significant effects and are unlikely to be able to be mitigated adequately.
- High positive: the impact will have highly significant positive effects.

Impact Assessment

The significance of construction and operation phase impacts associated with the proposed project and the required mitigation measures are included in the impact rating tables provided in the following table

Tabulating Visual Impacts

The reduction in height from 11 to eight storeys makes no difference to the visual impacts of the construction phase, although the reduced height does result in changes in terms of the operational phase; these differences are tabulated below.

Table 4. Comparative Operational Phase Impacts of 11 and 8 Storey Schemes

OPERATIONAL PHASE	11 STOREYS	REVISED 8 STOREY OPTION
Potential impact and risk		
Nature of impact:	Activities during the operational phase could potentially negatively impact on the following visual aspects: <ul style="list-style-type: none"> • Visual intrusion on the existing Tafelberg School (PHS) site • Visual intrusion on local surrounding residents • Visual intrusion of lighting at night 	Activities during the operational phase could potentially negatively impact on the following visual aspects: <ul style="list-style-type: none"> • Visual intrusion on the existing Tafelberg School (PHS) site • Visual intrusion on local surrounding residents • Visual intrusion of lighting at night
Extent and duration of impact:	Local and long term	Local and long term
Consequence of impact or risk:	The proposed development will impact directly on adjacent residents within the Sea Point HPOZ as well as the Tafelberg School site, a site of PHS status. The visual intrusion caused by the proposed development will in some cases obstruct residents views towards Lion's Head, as well as potentially cause lighting intrusion at night.	The proposed development will impact directly on adjacent residents within the Sea Point HPOZ as well as the Tafelberg School site, a site of PHS status. The visual intrusion caused by the proposed development will in some cases obstruct residents views towards Lion's Head, as well as potentially cause lighting intrusion at night.
Probability of occurrence:	Highly probable	Highly probable
Degree to which the impact may cause irreplaceable loss of resources:	Marginal loss of Heritage Resources. No loss to Critical Biodiversity Area (See Botanical Baseline Assessment letter in Annexure F).	Marginal loss of Heritage Resources. No loss to Critical Biodiversity Area (See Botanical Baseline Assessment letter in Annexure F).
Degree to which the impact can be reversed:	Partly reversible	Partly reversible
Indirect impacts:	<ul style="list-style-type: none"> • Potential for increased traffic. • Potential air quality changes as a result of increased traffic. • Potential for increased human activity. • Potential for increased sky glow and light spillage at night. • Increased shadowing as a result of the scale of the development. 	<ul style="list-style-type: none"> • Potential for increased traffic. • Potential air quality changes as a result of increased traffic. • Potential for increased human activity. • Potential for increased sky glow and light spillage at night. • Increased shadowing as a result of the scale of the development.
Cumulative impact prior to mitigation:	High: the impact would result in significant cumulative effects.	High: the impact would result in significant cumulative effects.
Significance rating of impact prior to mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	High (negative) - the impact will have significant effects and will require significant mitigation measures to achieve an accepted level of impact.	Medium (negative) - the impact will have moderate negative effects and will require moderate mitigation.
Degree to which the impact can be avoided:	Moderate	Moderate
Degree to which the impact can be managed:	Moderate	Moderate
Degree to which the impact can be mitigated:	Moderate	Moderate

<p>Proposed mitigation:</p>	<ul style="list-style-type: none"> • Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site. • Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site. • High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting • Make use of contextually appropriate materials. • Ensure that low level, unobtrusive and contextually appropriate signage is used. • Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible. • Ensure that non-reflective, colour appropriate paving surfaces are used as far as possible. • Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures. • Night lighting should be minimized and designed appropriately along the following guidelines: <ul style="list-style-type: none"> - Use low level lighting around buildings and along paths and streets. - Avoid neon, spot or excessive up-lighting. - Screen and filter lights sources as far as possible. - Shield external lights on buildings to cast light only upon the area required to be illuminated. - Ensure that naked light sources are not visible from beyond the site. - Ensure that limited light is emitted into the sky. • Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas. • Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive. • Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase. 	<ul style="list-style-type: none"> • Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site. • Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site. • High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting • Make use of contextually appropriate materials. • Ensure that low level, unobtrusive and contextually appropriate signage is used. • Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible. • Ensure that non-reflective, colour appropriate paving surfaces are used as far as possible. • Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures. • Night lighting should be minimized and designed appropriately along the following guidelines: <ul style="list-style-type: none"> - Use low level lighting around buildings and along paths and streets. - Avoid neon, spot or excessive up-lighting. - Screen and filter lights sources as far as possible. - Shield external lights on buildings to cast light only upon the area required to be illuminated. - Ensure that naked light sources are not visible from beyond the site. - Ensure that limited light is emitted into the sky. • Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas. • Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive. • Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase.
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	<ul style="list-style-type: none"> • A site masterplan must be prepared for approval by the local authority before construction activities can commence. Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC. • Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities. • Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated. • All areas disturbed during construction activities must be rehabilitated using appropriate vegetation. • Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m. • Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation. 	<ul style="list-style-type: none"> • A site masterplan must be prepared for approval by the local authority before construction activities can commence. Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC. • Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities. • Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated. • All areas disturbed during construction activities must be rehabilitated using appropriate vegetation. • Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m. • Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation.
Residual impacts:	With mitigation, the development would still be noticeably visible to the residents associated to the Sea Point HPOZ and the Tafelberg School site, due to the proximity to the development site. With the implementation of appropriate mitigation, it is anticipated that the visual impacts associated with the proposed project could be partially reduced.	With mitigation, the development would still be noticeably visible to the residents associated to the Sea Point HPOZ and the Tafelberg School site, due to the proximity to the development site. With the implementation of appropriate mitigation, it is anticipated that the visual impacts associated with the proposed project could be partially reduced.
Cumulative impact post mitigation:	Medium: the impact would result in minor cumulative effects	Medium: the impact would result in minor cumulative effects
Significance rating of impact after mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	Medium (negative) – the impact will have moderate negative effects and will require moderate mitigation.	Low (negative) – where it would have negligible effects, and would require little or no mitigation.

Table 5. Final Impact Assessment Tables for Eight Storey Scheme (2026)

CONSTRUCTION PHASE	
Potential impact and risk	
Nature of impact:	Negative impacts during construction associated with site excavations, construction activities and the operation of construction vehicles and machinery on site: <ul style="list-style-type: none"> • Potential dust, and wind-blown sand caused by heavy construction vehicles/ machinery. • Potential visual detraction and scarring of the landscape resulting from the construction activities and excavation works on a steep embankment. • Increased construction vehicle traffic on Main Road, High Level Road and minor residential roads directly adjacent to the development site
Extent and duration of impact:	Local and short term
Consequence of impact or risk:	Activities during the construction phase could potentially impact on the following visual aspects: <ul style="list-style-type: none"> • Visibility of construction machinery on and entering/leaving the site and/or traversing Main Road. • Visibility of the site camp. • Excessive signage, lighting and temporary services. • Litter blown on and off site. • Erosion, dust and lack of groundcover vegetation.
Probability of occurrence:	Probable
Degree to which the impact may cause irreplaceable loss of resources:	Marginal loss
Degree to which the impact can be reversed:	Fully reversible
Indirect impacts:	Indirect impacts could be associated with increased erosion and scarring of the lower slopes of Signal Hill due to improper erosion control during construction.
Cumulative impact prior to mitigation:	Construction activities could impact cumulatively with other construction activities that may take place in close proximity during the same time period. As the proposed project is currently the only planned activity at the site, it is unlikely that cumulative visual impacts associated with construction activities would occur.
Significance rating of impact prior to mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	High (negative) - the impact will have significant effects and will require significant mitigation measures to achieve an accepted level of impact.
Degree to which the impact can be avoided:	Moderate (impact is avoidable with moderate mitigation)
Degree to which the impact can be managed:	Moderate
Degree to which the impact can be mitigated:	Moderate

Proposed mitigation:	<ul style="list-style-type: none"> • Store and keep excavation machinery and trucks out of sight of surrounding residential areas as far as possible. • Ensure that excavation machinery and trucks entering and leaving the site do not leave any rubble, sand, rock, branches or other unwanted material on roads linking to the site. • Screen the site camp from view using appropriate materials that blend into the surrounding vegetation. • Ensure that site construction hoarding is dark in colour and free of excessive branding. • Prohibit excessive signage outside the construction camp. • Keep site lighting to a minimum and prevent the use of flood type lighting as far as possible. • Ensure that the site is kept neat and clean. Collect and dispose of litter appropriately to prevent any potential wind-blown litter on or off the site. • Ensure that site clearing is delayed as long as possible prior to construction in any particular area. • Limit site clearing to within the minimum footprint required for construction. • Protect existing vegetation in all areas that do not fall directly into the construction footprint. • Do not damage or destroy vegetation on adjacent properties. • Control erosion immediately to prevent visual scarring of the landscape. • Control dust using the appropriate dust suppression techniques. • Rehabilitate eroded / denuded areas as soon as possible following construction in any particular area. • Ensure that vegetation and tree planting is installed as per the landscape master plan and in terms of the landscape guidelines. • Large retaining structures should be stepped and designed to be integrated with natural vegetation and planting. • Building forms and volumetric/elevational components articulated to avoid a monolithic form and flat facades. • Protect the existing trees that are not planned for removal as per the tree survey. • During the planning phase, the proposal must pay close attention to the interface of the proposed development with Main Road and surrounding streets. This includes evaluating the building's contribution to a safe, attractive, and pedestrian-friendly environment. • Protection and site demarcation to protect DSD portion of ERF 1424 from related demolition, excavation and construction implications. • A pre-construction condition audit should be conducted on all structures on the DSD site prior to construction taking place on the DOI sites to ensure that structural mitigation measures can be put in place to limit unplanned negative impacts to structures of heritage significance.
Residual impacts:	Irrespective of the construction activities that are employed, there will be residual visual impacts associated with the construction phase. These would include visual intrusion of construction machinery at the local scale.
Cumulative impact post mitigation:	As no other construction activities are likely to occur at the site, it is unlikely that there will be cumulative impacts post mitigation.
Significance rating of impact after mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	Medium (negative) - the impact will have moderate negative effects and will require moderate mitigation.

OPERATIONAL PHASE	
Potential impact and risk	
Nature of impact:	<p>Activities during the operational phase could potentially negatively impact on the following visual aspects:</p> <ul style="list-style-type: none"> • Visual intrusion on the existing Tafelberg School (PHS) site • Visual intrusion on local surrounding residents • Visual intrusion of lighting at night
Extent and duration of impact:	Local and long term
Consequence of impact or risk:	The proposed development will impact directly on adjacent residents within the Sea Point HPOZ as well as the Tafelberg School site, a site of PHS status. The visual intrusion caused by the proposed development will in some cases obstruct residents views towards Lion's Head, as well as potentially cause lighting intrusion at night.
Probability of occurrence:	Highly probable
Degree to which the impact may cause irreplaceable loss of resources:	Marginal loss of Heritage Resources. No loss to Critical Biodiversity Area (See Botanical Baseline Assessment letter in Annexure F).
Degree to which the impact can be reversed:	Partly reversible
Indirect impacts:	<ul style="list-style-type: none"> • Potential for increased traffic. • Potential air quality changes as a result of increased traffic. • Potential for increased human activity. • Potential for increased sky glow and light spillage at night. • Increased shadowing as a result of the scale of the development.
Cumulative impact prior to mitigation:	High: the impact would result in significant cumulative effects.
Significance rating of impact prior to mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	High (negative) - the impact will have significant effects and will require significant mitigation measures to achieve an accepted level of impact.
Degree to which the impact can be avoided:	Moderate
Degree to which the impact can be managed:	Moderate
Degree to which the impact can be mitigated:	Moderate
Proposed mitigation:	<ul style="list-style-type: none"> • Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site. • Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site. • High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting • Make use of contextually appropriate materials. • Ensure that low level, unobtrusive and contextually appropriate signage is used. • Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible.

	<ul style="list-style-type: none"> • Ensure that non-reflective, colour appropriate paving surfaces are used as far as possible. • Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures. • Night lighting should be minimized and designed appropriately along the following guidelines: <ul style="list-style-type: none"> - Use low level lighting around buildings and along paths and streets. - Avoid neon, spot or excessive up-lighting. - Screen and filter lights sources as far as possible. - Shield external lights on buildings to cast light only upon the area required to be illuminated. - Ensure that naked light sources are not visible from beyond the site. - Ensure that limited light is emitted into the sky. • Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas. • Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive. • Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase. • A Site Development Plan must be prepared for approval by the local authority before construction activities can commence. • Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC. • Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities. • Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated. • All areas disturbed during construction activities must be rehabilitated using appropriate vegetation. • Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m. • Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation.
Residual impacts:	With mitigation, the development would still be noticeably visible to the residents associated to the Sea Point HPOZ and the Tafelberg School site, due to the proximity to the development site. With the implementation of appropriate mitigation, it is anticipated that the visual impacts associated with the proposed project could be partially reduced.
Cumulative impact post mitigation:	Medium: the impact would result in minor cumulative effects
Significance rating of impact after mitigation (e.g. Low, Medium, Medium-High, High, or Very-High)	Medium (negative) – the impact will have moderate negative effects and will require moderate mitigation.

Findings and Recommendations of the Updated VIA (May 2026)

This Visual Impact Assessment (VIA) details the potential visual impacts of the proposed site enablement for the redevelopment of ERF 1424, located at 353 Main Road, Sea Point. The revised preferred development proposal, Concept 4, consists of a mixed-use, 8-storey building on Parcel 1 fronting Main Road, and two 4-storey social housing blocks on Parcels 2 and 3, which interface with the quieter residential streets. This development is proposed within a highly sensitive visual and heritage context, as the site is a declared Grade II Provincial Heritage Site (PHS) and falls within the Sea Point Heritage Protection Overlay Zone (HPOZ). This assessment is based on a conceptual 3D massing envelope to inform site enablement, not a final architectural design.

The overall finding of this assessment is that the proposed development's scale and massing, particularly with the reduction in height on Parcel 1, are largely consistent with the established character of the Sea Point urban fabric when assessed at a broader townscape level.

The townscape analysis confirms that the 8-storey height on Parcel 1 is a contextually appropriate response to the dense, "urban wall" typology of Main Road and remains subordinate to the taller high-rise buildings along the beachfront. Unlike the previous Concept 3(D) iteration, the revised proposal matches or sits comfortably below the visual datum of the surrounding mid-rise buildings and remains subservient to several of the taller high-rise buildings found within the area.

The stepping down of the scale to four storeys on Parcels 2 and 3 remains a critical and appropriate design decision, responding to the finer-grain, lower-rise residential context towards Signal Hill.

When viewed from a distance, such as the Sea Point Promenade (Viewpoint 6) and Ocean View Drive (Viewpoint 5), the proposal is largely screened by existing urban fabric and vegetation, resulting in Negligible to Low visibility. It integrates seamlessly into the existing urban skyline without impacting the primary sea views or the horizon line, aligning strongly with the principles set out within the CoCT's Tall Building Policy and the Table Bay DSDP. While the proposed development remains partially visible in Viewpoint 5, the overall visibility is substantially reduced ensuring that the proposed development does not fundamentally conflict with the overall character of the area.

Despite this acceptable townscape fit, high-impact visual intrusions remain a concern and will still require appropriate mitigation. While these high impact visual intrusions were previously a concern at the local, street-level scale, the revised Concept 4 proposal has taken steps to reduce impacts and mitigates these issues to varying degrees from certain vantage points.

Primary examples of this can be seen in Viewpoint 1, which remains unchanged with High visual intrusion and Viewpoint 7 where despite the reduced height of the proposal, VAC remains Low and Visual Exposure remains High. This results in a marginal, yet significant decrease in visual intrusion, reduced from High to Moderate to High as the Concept 4 proposal feels less visually overpowering, representing a distinct improvement in how the built form interfaces with the public domain when compared to the original 11 storey proposal.

The Impact Assessment continues to rate the Construction Phase as having a High (negative) impact prior to mitigation. However, the Impact Assessment now rates the Operational Phase impacts as Medium (negative) prior to mitigation, improving to Low (negative) with mitigation.

Localised High operational impacts are still identified in the Visual Analysis:

- **Intrusion on Residential Streets:** The 4-storey massing on Parcel 3 will remain to have a High Visual Exposure and High Visual Intrusion when viewed from The Glen (Viewpoint 1), fundamentally and severely altering the scale and character of this low-rise residential street.
- **Loss of Scenic Views:** While the reduction in height reduces the "looming" effect previously identified and the proposed scale now relates more sympathetically to the mature street trees and the pedestrian realm, the 8-storey massing on Portion 1 will continue to transform the existing view corridor from Main Road towards Lion's Head, which Viewpoint 7 identifies as a "loss of scenic resource". This view corridor is also partially diminished from Viewpoint 4, albeit to a lesser degree because of the reduced Portion 1 height.
- **Heritage Context:** The development's bulk and proximity will continue to have a direct visual intrusion on the adjacent Tafelberg School PHS and the surrounding graded heritage resources of the HPOZ, however, the revised massing/building articulation associated with the Concept 4 proposal does marginally reduce impacts as seen viewpoints such as Viewpoint 2.

Given these findings, the successful mitigation of these impacts remains critical. While the visual impact cannot be fully avoided, this Impact Assessment determines that it can be reduced from a Medium (negative) to a

Low (negative) significance, provided that the mitigation measures outlined in the impact assessment table are strictly implemented as conditions of approval.

Key recommendations include:

- **Materiality:** All external material and finish specifications, including the building façade materiality and all ground-level hard landscaping, must be of high quality and non-reflective to reduce glare and visual intrusion.
- **Landscape Architecture:** A comprehensive landscape masterplan, prepared by a SACLAP registered professional, is essential and must be implemented and monitored. This plan is the primary mitigation tool and must prioritise visual screening through the planting of medium to large-calibre trees along sensitive boundaries (especially along sensitive heritage interfaces such as The Glen, Herbert Road, Heathfield Road and Milner Road). All retaining structures must be stepped, articulated, and heavily planted to avoid monolithic 'terraforce' walls while appropriate terracing should be employed to manage considered level changes, create accessible and usable open spaces and mitigate the need for excessive retaining structures. The building should include integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade. Vertical greening through the installation of stainless-steel cable or mesh trellis systems should be considered. Additionally, the implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines is recommended. Careful consideration should be given to the levels of the courtyards and green roofs to ensure sufficient planting depth is achieved. (ZUTARI; 2015)
- **Building Articulation and Interface:** Further articulation of the building's mass through façade modulation to achieve a fine grain texture, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings' perceived scale and bulk and to avoid monolithic built form. This is particularly relevant to the Portion 2 and 3 sites where the current proposal introduces a significant contrast to the adjacent low-rise heritage dwellings and noticeably changes the character and sense of place of the street. As such, the massing of buildings needs to consider views, sunlight, the relationship with streets and spaces, landmarking and be respectful of the contextual building grain and mass. The way the development interfaces with the streets, public spaces and neighbouring properties, is crucial to ensure a strong contextual fit and maintaining the integrity of the area. Interface considerations should therefore conform to

the site enablement Design Guidelines Report. (ZUTARI; 2026)

- **Construction:** A pre-construction condition audit must be conducted on all adjacent heritage structures, particularly on the DSD portion of the ERF 1424 site. Standard, but rigorous, site management for dust, noise, and visual screening of site camps is mandatory. An arborist must provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival.
- **Setbacks:** Increasing of the building setback from the site boundary along sensitive residential heritage interfaces such as The Glen, Herbert Road, Heathfield Road and parts of Milner Road as identified within the Heritage Informants to allow for substantial softening and visual screening of the site edge through the planting of medium to large calibre ground level trees and landscaped areas while maintaining the pedestrian sidewalk routes.

In conclusion, significant residual impacts will remain, as the development will be 'noticeably visible' to immediate neighbours and will permanently alter the streetscape character, particularly on the residential side roads within the HPOZ. However, the Concept 4 revision to 8 storeys has successfully addressed the primary visual conflicts associated with the Portion 1 proposal. This revision transforms the design from one that competed with its context to one that integrates more harmoniously within the receiving environment, as a result, the residual impacts of the Concept 4 option are considered more acceptable within this urban context. However, strict implementation of the recommended visual mitigation measures can reduce the visual impact from a Medium (negative) to a Low (negative) significance

As this assessment is being conducted on a strategic-level study of a conceptual massing envelope intended only to inform the site enablement process, the most critical recommendation is that a new, comprehensive VIA must be commissioned and submitted as part of any formal, detailed development approval process. That future assessment will need to re-evaluate the specific architectural design, including façade articulation, modulation, materiality, lighting and landscaping to ensure the above mitigation measures proposed in this conceptual phase are successfully translated into a final built form that is sensitive to this significant heritage and visual context.

10.5. Consolidated Mitigation

10.5.1. Archaeological Mitigation

Inspection of foundation trenches should be undertaken when these are first opened during construction phase.

Monitoring of initial works in the area of the old Ellerslie alignment should also be undertaken to inspect for the presence of buried historic fabric.

No ongoing monitoring is necessary of foundation trenches or work along the road alignment should no archaeological material be present.

10.5.2. Socio-Historic Mitigation

Community and Family Connection

For 353 On Main to “act as a ‘centre of gravity’ for a revived and more inclusive sense of community cohesion and family integration in the neighbourhood and the city” the scheme needs to accommodate families, and support accessibility for elderly and disabled residents (Roux, 2025: 31). Facilities which support inclusive community functioning should also be provided for. These might include civic facilities, information hubs, education, childcare, elder care, space for outdoor leisure and play, public health and other domains. Importantly, the “site’s social and community functions should be well-integrated, rather than siloed, with particular attention paid to shared facilities and public/leisure spaces on the site” (*Ibid.*).

Educational History

The removal of the school site from this development necessarily inhibits the extent to which the 353 On Main development can sustain the links of the site to educational history. However, redevelopment should “include solutions which enable families with schoolgoing children to live close to the existing public schools in and around Sea Point” (Roux, 2025: 32). This will serve to re-integrate school going into daily life in the area, and eliminate the long commutes for learners.

Gender

Design should adopt a gender-sensitive approach that “includes spatial elements and facilities (for example, on-site childcare, consideration for safety and security, awareness of the specific needs of women-headed households) and structural aspects of delivery, decision-making and participation” (Roux, 2025: 33).

Affordable Housing

The provision of social housing needs to include the provision of “integrated amenities and facilities with the potential to foster a sense of the site as a ‘centre of gravity’ for community cohesion, accessible housing, and equitable access to civic amenities” (*Ibid.*).

Spatial Justice

The development of 50.9% of the residential GLA as social housing achieves the key themes identified in the social history report of affordable housing and spatial justice. However, the development needs also to create space “that supports access to opportunities, community cohesion and inclusivity, and access to civic facilities that support these goals” (Roux, 2025: 34).

Interpretive Signage

The multi-layered history of the site should be represented in some format, either through a public exhibition, mural art, and/or building naming. These interventions should not only relay the history of the schools, but also of those histories at risk of being forgotten, such as Rainbow Housing and Wynyard Mansions.

Future Management of the Forecourt:

Insofar as possible, some measure of physical public access would be in line with the site’s historical social meanings and significance. This may not necessarily be a binary choice between a fully enclosed or fully public space. For example, well-placed gateways could allow accessibility at some times and closure at others.

It would be advisable for the spatial framework to propose a continuum of possibilities for the forecourt, to account for different levels of access and permeability in line with DSD’s potential uses of the school building. These would provide a guideline for establishing appropriate levels of public access once the future of the school building is clearer. The guiding principle should be to allow for as much public access as possible, within the constraints of DSD’s requirements.

10.5.3. Townscape and Architecture Mitigation

The detailed planning and design stage must consider and implement the following:

1. The solid stone wall and central pier and fence walling section on main Road are to be documented. Design options to be explored to retain (at

minimum) representative sections of each wall in an interpretive manner with the line and form of the overall wall reflected in paving lines so that the original fine-grained layout is remembered on site. This should be part of the street and landscaping interface condition. Options are to be explored and approved as a condition of the HIA.

2. The detail, grain, materiality, punctured nature of opening and form of the buildings are modulated to respond to the varying conditions around the site. The Architecture should be fine-grained and contextually responsive and not be self-referential.
3. The internal interface conditions as defined in the Design Guidelines Report (Zutari, 2026d) must be detailed to respond to the school/ DSD building and green open area.
4. Internal security provisions/ fencing to be detailed in a subtle manner with the over-riding concern being to visually retain the cohesiveness of the PHS site.

10.5.4. Visual Mitigation

General

VP1

- Increase the building setback from the site boundary to allow for substantial softening of the site edge through the planting of ground level trees and landscaped areas while maintaining the pedestrian sidewalk route.
- As this is a concept mass model (Concept 4), further articulation of the building's mass through façade modulation, upperlevel setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings perceived scale and bulk and to avoid a monolithic built form along The Glen.
- Include on-building balcony integrated planters that allow for cascading vegetation on the façade, vertical greening through the installation of stainless-steel cable or mesh trellis systems and the implementation of green roofs on all flat roof surfaces and podiums are recommended to further mitigate the visual impacts. This should be done in accordance with the urban design and landscape guidelines report.

VP2

- Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings perceived scale and bulk.
- The specification of non-reflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace

to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).

- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines. It is recommended that an arborist provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival and mitigate further loss of site VAC

VP3 Mitigation

- The specification of non-reflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).
- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines.

VP4

- Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings perceived scale and bulk.
- The retention of existing and the planting of new, medium to large-calibre street trees along the Main Road frontage.
- The creation of a well-defined, high-quality landscaped setback between the building's ground floor and the public sidewalk.
- The specification of nonreflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).
- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines. It is recommended that an arborist provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival and mitigate further loss of site VAC.

VP5

- Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings perceived scale and bulk.
- The specification of non-reflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).
- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines.

VP6

- Mitigation measures are not deemed necessary.

VP7

- Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings perceived scale and bulk.
- The retention of existing and the planting of new, medium to large-calibre street trees along the Main Road frontage.
- The creation of a well-defined, high-quality landscaped setback between the building's ground floor and the public sidewalk. The specification of nonreflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).
- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines. It is recommended that an arborist provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival and mitigate further loss of site VAC.

VP8

- Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation are recommended during the

- detailed design stages to reduce the buildings perceived scale and bulk.
- The retention of existing and the planting of new, medium to large-calibre street trees along the Main Road frontage.
- The creation of a well-defined, high-quality landscaped setback between the building's ground floor and the public sidewalk.
- The specification of nonreflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping.
- The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed).
- The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines.

Construction Phase

- Store and keep excavation machinery and trucks out of sight of surrounding residential areas as far as possible.
- Ensure that excavation machinery and trucks entering and leaving the site do not leave any rubble, sand, rock, branches or other unwanted material on roads linking to the site.
- Screen the site camp from view using appropriate materials that blend into the surrounding vegetation.
- Ensure that site construction hoarding is dark in colour and free of excessive branding.
- Prohibit excessive signage outside the construction camp.
- Keep site lighting to a minimum and prevent the use of flood type lighting as far as possible.
- Ensure that the site is kept neat and clean. Collect and dispose of litter appropriately to prevent any potential wind-blown litter on or off the site.
- Ensure that site clearing is delayed as long as possible prior to construction in any particular area.
- Limit site clearing to within the minimum footprint required for construction.
- Protect existing vegetation in all areas that do not fall directly into the construction footprint.
- Do not damage or destroy vegetation on adjacent properties.
- Control erosion immediately to prevent visual scarring of the landscape.
- Control dust using the appropriate dust suppression techniques.
- Rehabilitate eroded / denuded areas as soon as possible following construction in any particular area.
- Ensure that vegetation and tree planting is installed as per the landscape

- master plan and in terms of the landscape guidelines.
- Large retaining structures should be stepped and designed to be integrated with natural vegetation and planting.
- Building forms and volumetric/elevational components articulated to avoid a monolithic form and flat facades.
- Protect the existing trees that are not planned for removal as per the tree survey.
- During the planning phase, the proposal must pay close attention to the interface of the proposed development with Main Road and surrounding streets. This includes evaluating the building's contribution to a safe, attractive, and pedestrian-friendly environment.
- Protection and site demarcation to protect DSD portion of ERF 1424 from related demolition, excavation and construction implications.
- A pre-construction condition audit should be conducted on all structures on the DSD site prior to construction taking place on the DOI sites to ensure that structural mitigation measures can be put in place to limit unplanned negative impacts to structures of heritage significance.

Operational Phase

- Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site.
- Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site.
- High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting
- Make use of contextually appropriate materials.
- Ensure that low level, unobtrusive and contextually appropriate signage is used.
- Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible.
- Ensure that non-reflective, colour appropriate paving surfaces are used as far as possible.
- Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures.

- Night lighting should be minimized and designed appropriately along the following guidelines:
 - Use low level lighting around buildings and along paths and streets.
 - Avoid neon, spot or excessive up-lighting.
 - Screen and filter lights sources as far as possible.
 - Shield external lights on buildings to cast light only upon the area required to be illuminated.
 - Ensure that naked light sources are not visible from beyond the site.
 - Ensure that limited light is emitted into the sky.
- Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas.
- Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive.
- Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase.
- A Site Development Plan must be prepared for approval by the local authority before construction activities can commence.
- Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC.
- Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities.
- Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated.
- All areas disturbed during construction activities must be rehabilitated using appropriate vegetation.
- Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m.
- Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation.

10.6. Compliance with Indicators

Table 6. Compliance Assessment

INDICATOR	COMPLIES	MITIGATION	COMMENT
ARCHAEOLOGY			
Sensitivity of the homestead site	Yes	None	The site of the homestead is outside of the project area
Management of accidental finds	Yes	Undertake monitoring as per recommendations	Recommendations to be included in construction methodology
Ellerslie Road fabric	Yes	Monitoring as per recommendations	Recommendations to be included in construction methodology
SOCIO-HISTORY			
Community and family connections	Partly	Integration and community connection to be factored into design	No express provision has been made for these factors, but the shared outdoor spaces may go some way to achieving integration.
Educational histories	Yes	Provision of family accommodation	Three-bedroomed apartments will accommodate families with children attending local schools
Gender	Partly	Provision of facilities for women-headed households	No provision is currently made for child-care facilities, although safety and security have been factored into the design.
Affordable housing	Yes	None	The provision of social housing achieves affordable housing if properly implemented
Spatial justice	Yes	None	The provision of social housing achieves spatial justice if properly implemented
Forecourt use and access	Not in development area	Consider access to, and/or visual permeability of, forecourt	Development plan for this part of the site to acknowledge Heritage Design Indicators set out in this report
TOWNSCAPE / ARCHITECTURE			
Respond to the pressing need for social and affordable housing in the area	Yes	None	Achieving the programme is key to allowing development on the site
Promote mixed use and integration	Yes	None	To be embedded in detail design going forward
Re-enliven the site so that it contributes to the environment through the re-introduction of residential, commercial, civic, health and educational facilities	Yes	None	To be embedded in detail design going forward
Any new intervention must respond appropriately to the layered, fine grain urban grid of the context in terms of height and massing	Yes	None	Developed architectural detailing and modulation is critical in this regard
The placement of any new structures should respond to the existing urban grid of the sector above Main Road	Yes	None	Historic pattern and alignment observed

INDICATOR	COMPLIES	MITIGATION	COMMENT
New developments should respond to the fine grain and variegated scale and massing of structures in the neighbouring street blocks; avoid large massing	Partly	Design and detailing can mitigate larger massing necessary for programme	By nature the development is large-scale and not single units
New developments should respond to the sloped topography of the context and “in-out” stepping between structures placed orthogonally as steps up the slope. This condition allows for a fragmentation of roof lines against mountain backdrop, which should inform any new development on site	Untested at this stage	None	Developed architectural detailing and modulation is critical in this regard
Architectural language of new interventions should be informed by the neighbourhood	Untested	Yes	Developed architectural detailing and modulation is critical in this regard
Materiality of new developments should be responsive to the existing character of the site	Untested	Yes	Developed architectural detailing and modulation is critical in this regard
School building: (Note: not part of the development area, but to be considered in design due to PHS status of site)			
An appropriate and compatible use and programme should be developed to allow for an integrate use of the site as far as is practical and allowing for necessary security provisions.	Untested / N/A	N/A	Separate process to follow
The front facade and prominent east and west side elevations should not be altered or visually blocked from public view	Yes	None	Achieved in design
The building should be given a buffer area from any encroaching development. The buffer area can accommodate soft landscaping	Yes	No	Achieved in design
Any alterations should be subject to a separate heritage process to ensure that the significance of the structure is not negatively impacted	N/A	N/A	Separate process to follow
Wynyard Mansions			
While renovation and reuse is potentially possible, the overall and unified site development (and most importantly the provision of social housing) is better served by demolition of the building	Yes, demolition proposed to allow for site development over all	No	Building to be recorded prior to any demolition
The building does not possess enough architectural or social significance to warrant retention	Yes	No	None

INDICATOR	COMPLIES	MITIGATION	COMMENT
Other Site Structures			
Retain the main boundary wall in front of the school and reactivate openings. The sections of historic 19thC stone walling on the Main Road northern end to be further investigated with a view to retaining and incorporating in the design, with localised adjustments to facilitate positive street interface. The same applies to the gates and walling of the central Heatherbelle section.	Yes	Yes	Detail design stage to assess how portions of the walls can be retained and successfully integrated. Where sections are removed, the line of the walls is to be embedded in landscape design as a memory marker. Detailed overall landscaping plan to be compiled later to consider site as a whole.
Investigate programmatic adaptive reuse of the bike shed to new function or multi-use purpose	N/A	N/A	N/A
All other structures can potentially be demolished and do not inform redevelopment	Yes	No	Sports buildings, music rooms and garage on development area of site are to be demolished
Landscape			
Retain the green space between Main Road historic walling and the school building. It is compatible to activate the green space as a multifunctional space (recreational and parking) and introduce soft landscaping, planting and seating incorporating stone walling	Yes	Yes	Detailed overall landscaping plan to be compiled later to consider site as a whole
Preserve and protect the wild fig tree avenue, and re-introduce the axial entrance as a central visual cone from Main Road and as a feature to arrival at school building	Yes	Yes	Detailed overall landscaping plan to be compiled later to consider site as a whole
Preserve and protect mature trees identified for retention that frame the green space; remove trees that do not warrant retention, and if replaced, consider slender stemmed trees to allow better visibility of the school building from the Main Road	Yes	Yes	Detailed overall landscaping plan to be compiled later to consider site as a whole
New Build Form			
<i>Placement</i>			
No new development between the school building and the Main Road	Yes, but not in development area	Yes	Development plan for this part of the site to acknowledge Heritage Design Indicators set out in this report
Retain the green space.	Yes, but not in development area	Yes	Development plan for this part of the site to acknowledge Heritage Design Indicators set out in this report
Retain a buffer area around the perimeter of the school building	Yes	Yes	Detailed plan to be developed to reflect this
Do not allow new development to abut the school	Yes	Yes	Detailed plan to be developed to reflect this
Orthogonal placement in response to historic site grid and wider urban grid	Yes	No	None

INDICATOR	COMPLIES	MITIGATION	COMMENT
Respond to the site's character zones: commercial, transitional and residential	Yes	No	None
Allow the formation of pockets of space	Yes	No	Courtyard design creates semi-private spaces
<i>Access</i>			
Consider the introduction of "internal streets" that respond to the historic grid: reintroduction of the Ellerslie road access off Milner Road extension of Herbert Road behind the school building to The Glen introduction of a longitudinal axis aligning Ellis and Heathfield Roads	Yes	No	None
Reactivate the historic entrance off Main Road	Yes, but not in development area	Yes	Development plan for this part of the site to acknowledge Heritage Design Indicators set out in this report
Re-open and activate the historic pedestrian entrances	Yes	No	The site is opened and activated
<i>Height and Massing</i>			
Respond to the "micro" character areas of the site which are determined by the various road and interface conditions	Yes	No	None
Main Road commercial realm interface: can tolerate greater height	Yes	Yes	The height and massing of the front block requires careful architectural detailing and programming in later stages to maintain fit into context
Three residential interface conditions: height limits between (3-5 storeys), specific to the placement of the structure	Yes	No	Three residential interface conditions: height limits between (3-5 storeys), specific to the placement of the structure
Heights should step down towards the school building and garden area	Partly	Yes	Detailed design to reflect scaling and interface with the garden area
Building height can be mitigated by fragmentation of the roof line, setbacks and step backs such as in the built form of Wynyard Mansions	Untested at this stage	Yes	Detailed design to incorporate this
Building height can be mitigated by embedding/cutting into the slope as seen in Wynyard Mansions, which can be used as a design informant	Yes	No	Parking garage/basement
<i>Architecture and Materiality</i>			
New development should respect the architectural language of existing and neighbouring plastered masonry structures	Untested at this stage	Yes	To be developed in detailed design stage
Respond to the architectural character of the area and the topography of the site	Yes	No	None
Use of variation in material, form and colour to break up massing and introduce visual interest and sense of finer grain	Untested	Yes	To be developed in detailed design stage

INDICATOR	COMPLIES	MITIGATION	COMMENT
Use of balconies and inhabited roofs to allow visual interaction – street to building	Untested	Yes	To be developed in detailed design stage
Avoid large, uninterrupted expanses of glass and/or concrete and commercial appearance	Untested	Yes	To be developed in detailed design stage
VISUAL IMPACTS			
<i>General</i>			
The creation of a well-defined, high-quality landscaped setback between the building's ground floor and the public sidewalk	Untested	Yes	To be developed in detailed design stage
Further articulation of the building's mass through façade modulation, upper-level setbacks and roofline variation	Untested	Yes	To be developed in detailed design stage
The incorporation of integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade of the building. Vertical greening through the installation of stainless-steel cable or mesh trellis systems (wind to be assessed)	Untested	Yes	To be developed in detailed design stage
The implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines	Untested	Yes	To be developed in detailed design stage
The specification of non-reflective, high-quality materials and finishes for both the building facade and all ground-level hard landscaping	Untested	Yes	To be developed in detailed design stage
The retention of existing and the planting of new, medium to large-calibre street trees along the Main Road frontage	Untested	Yes	To be developed in detailed design stage
<i>Construction Phase</i>			
Dust, and wind-blown sand	Yes	Construction management protocols	Recommendations to be included in construction methodology
Visual detractor and scarring of the landscape	Yes	Construction management protocols	Recommendations to be included in construction methodology
Construction vehicle traffic	Yes	Construction management protocols	Recommendations to be included in construction methodology
Possible impacts to DSD site and Ellerslie building	Yes	Construction management protocols	Recommendations to be included in construction methodology
<i>Operation Phase</i>			
Visual intrusion on surrounding residents within the primarily residential lowrise Sea Point HPOZ	Partly	Landscape master plan that includes screening to offset the built form	Recommendations to be included in construction methodology
Visual intrusion of elevated lighting at night		Light management measures	Recommendations to be included in construction methodology

11.0. COMMENTING PROCESS, DRAFT HIA, 2025

The Draft Heritage Impact Assessment (2025), proposing the 11 storey development, was circulated for 30 days' Public Participation to the following Conservation Bodies and Interested and Affected Parties:

- Sea Point, Fresnaye & Bantry Bay Ratepayers & Residents Association
- YIMBY Seaboard (formerly Sea Point for All)
- Ndifuna Ukwazi
- Reclaim the City
- Docomomo SA

Further to that, copies of the report were made available to all I&APs who registered through the various open meetings held as part of the process, as well as to stakeholders on the project database/communication list

Legal notices appeared in the Atlantic Sun and Cape Times on 13 November 2025 which advised the general public of the availability of a hard copy of the report at the Sea Point Public Library, and digital copies downloadable from a QR code on the notice and via the Department of Infrastructure 353 on Main webpage: <https://www.westerncape.gov.za/infrastructure/353-main-sea-point>

Site notices bearing the same information were erected around the proposed development site on 13 November.

All comments received that pertained to heritage were captured and addressed in the supplementary report.

The HIA circulated for comment was submitted unchanged to HWC, and all comments and responses, as well as the design responses arising from these comments, were compiled in a separate, supplementary document. This revised design responded to the comments received and was also been reviewed by means of an updated visual assessment. The initial conclusion and recommendations were similarly carried forward but expanded and updated in response to comments received.

11.1. Comments Received/ Responses

All comments received are included, in full, in the Annexure.

Comments are tabulated below, with the contents / themes identified in the comments indicated as a way highlight the congruence in concerns where these arise.

Table 7. Comments and Response Table, 2025 Draft HIA

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
13-11-25	Email - objection	David Bernstein	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Concerns re school building Fragmentation of site Context and setting Wynyard Mansions and Herbert Road heritage Physical threats to tangible heritage Inappropriate to local character Process and PPP 	The detailed comment is well noted. The key issues relating to the PHS status and development on the site are addressed in Section 3 and in the revised Concept Design report and are reflected in the Updated Recommendations. With regard to Wynyard Mansions, docomomoSA has been consulted and that response is part of this record. The extended and iterative process undertaken confirms that this HIA process is not treated as a formality. The suggested further requirements recommended to HWC by the commenter as listed in point 30 are not agreed with. Guidelines are included for the historic boundary walls and the significant trees on site.	Comment 1
14-11-25	Email - comments	Mr. Kenneth L Madyibi	Organization	LK Academy (Pty) Ltd	<ul style="list-style-type: none"> Endorsement, no heritage comments 	Comments regarding the need for housing are noted and core to the design response.	Comment 2
18-11-25	Email - comments	Byron Miller	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Building height 	The comments regarding the provision of housing on this site are noted. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 3
06-12-25	Email - comments	André-Pierre du Plessis	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Building height 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 4
06-12-25	Email - comments	Ingrid Hale	Private Resident	SP resident	<ul style="list-style-type: none"> Building height and bulk 	The comments regarding the influx of people, litter and provision of sewage system are not heritage issues. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 5

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
06-12-25	Email - Objection	Daphne Paizee	Private Resident	SP resident	<ul style="list-style-type: none"> • Building height 	Issues of traffic and congestion are not heritage issues and will be addressed at local authority level. The point raised around greening the area is noted, and the retention and creation of green and courtyard spaces is integral to the design responses.	Comment 6
06-12-25	Email - Objection	Jessica Tasker	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • No heritage comments 	The comment regarding low-cost housing and the maintenance of safety and cleanliness is noted but disagreed with. The design concept report supported by the design criteria and indicators are set out to achieve an inclusive and positive environment for all.	Comment 7
06-12-25	Email - Objection	Anastasiya Russol	Private Resident	SP resident	<ul style="list-style-type: none"> • No heritage comments 	The comments regarding outdated infrastructure are not heritage issues. The concern that apartments are being sold and targeted to foreigners is noted however the requirement that approx. 50% of the proposed land use residential yield is social housing is a core component of the design concept.	Comment 8
07-12-25	Email - Objection	Johannes Cichorius	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Physical threats to tangible heritage 	The comments regarding mature trees on the historic site are noted and addressed in the HIA, tree survey, and landscape concept plan and guidelines document. The conservation, retention and potential adaptation of historic boundary walls have been considered, and design guidelines provided appropriate to this level of detail and to guide future detailed development proposals.	Comment 9
07-12-25	Email - Objection	Peter Constan-Tatos	Private Resident	SP resident	<ul style="list-style-type: none"> • Building height 	The comment regarding over-development and strain on infrastructure is noted but the issues raised are largely beyond the realm of heritage. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 10

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
07-12-25	Email - Objection	Hans de Lange	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Physical threats to tangible heritage Building height 	The comment regarding over-development and strain on infrastructure is noted but the issues raised are largely beyond the realm of heritage. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 11
08-12-25	Email - Objection	Sue Gardner	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Building height 	Comments related to parking are addressed in the design concept, and are related to land use which is a separate process. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5.	Comment 12
08-12-25	Email - Objection + Letter	Bram Manoocheri	Private Resident	SP resident	<ul style="list-style-type: none"> Building height Incompatibility with HPOZ Loss of green character and mature trees Questions re process 	This comment, addressed to HWC, sets out concerns regarding the high rise building on Main Rd which have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Further concerns pertain to the retention of green spaces and trees all of which is addressed in the HIA. The stated requirement that a full HIA be submitted is noted, however what is before HWC is the complete HIA and it is for HWC to decide whether this complies with section 38(3) of the NHRA.	Comment 13
08-12-25	Email - Objection	Carols Cakes	Private Resident	SP resident	<ul style="list-style-type: none"> Loss of mature trees 	The frustration regarding congestion and over-development is noted but not heritage related. The concerns raised round the " magnificent trees that line the driveway" are all addressed in the report and tree survey, and set out as heritage design indicators to inform the development on the site.	Comment 14

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
08-12-25	Email - Objection	Chanel Summer	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Building height • Incompatibility with HPOZ • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Issues of a publicly accessible pocket park on the green area noted and will need to be addressed as part of the future application. This space is not a public park at present; this matter has been responded to during the preliminary stakeholder engagements.	Comment 15
08-12-25	Email - Objection + Letter	Tarryn Cohen	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration the green section and mature trees are noted and are addressed in the heritage informants for the site.	Comment 16
09-12-25	Email - Objection	Georgia Seimenis	Private Resident	SP resident	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 17

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
09-12-25	Email - Objection	Gerrit Botha	Private Resident	SP resident	<ul style="list-style-type: none"> Incompatibility with HPOZ Process and PPP 	This comment is incorrect in stating that no HIA has been prepared and that no engagement with HWC has occurred. The focus of the HIA and the supporting documentation deals explicitly with issues related to character scale and streetscape. Concerns regarding infrastructure constraints are noted but not heritage issues. A traffic impact assessment is not required as part of the HIA process. The criticism that the proposal has had minimal public engagement is refuted and the records of preliminary stakeholder engagement sessions and the commenting process engagement session reflect this. The conclusion and formal request is noted and HWC will be reviewing this admission and making their determination on this matter.	Comment 18
09-12-25	Email - Req for NI&RNID	SBF Ratepayers	Civic Org/ Ratepayers	Ratepayers Association	<ul style="list-style-type: none"> Request for NID and RNID 	Email - documents can be located on the webpage. This excludes the NID Form - PAIA request for this.	N/A
09-12-25	Email - Objection	Susan Hoffmann	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> Building height Loss of green character and mature trees Incompatibility with HPOZ Process and PPP 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Other concerns relate to city matters and planning compliance.	Comment 19
10-12-25	Email - Objection	Steffany Roup	Private Resident	SP resident	<ul style="list-style-type: none"> Endorsement of social housing 	Noted. See below	Comment 20
10-12-25	Email - Clarification to previous email	Steffany Roup	Private Resident	SP resident	<ul style="list-style-type: none"> Concerns re school building 	The comment to the space remaining as a school is beyond the realm of this HIA and will be subject to a separate process. The supplementary clarification comment is noted and the support for development as social housing and school is noted. Any application linked to the remainder portion with the Ellerslie Building will follow its own processes.	Comment 20

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
10-12-25	Email - Objection + Letter	Saul Shain	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height and bulk • Loss of green character and mature trees • Process and PPP 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration the green space and mature trees are noted and are addressed in the heritage informants for the site. The comment regarding conservation principles is noted but must be guided by the significance of the site and the wider context. The principles embedded in the Burra Charter, as referenced in the comment for example, will be very clear informants for any future application pertaining to the school building.	Comment 21
10-12-25	Email - Objection	Brandin Walter	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height and bulk • Loss of green character and mature trees • Process and PPP 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site. The request for HWC intervention is noted however the submission of the HIA to HWC for a Decision is the correct route being followed.	Comment 22
10-12-25	Email - Objection	Vikki Seimenis	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 23

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
10-12-25	Email - Objection + Letter	Inna Shain	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height and bulk • Loss of green character and mature trees • Process and PPP 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Infrastructure constraints are not heritage issues that can be addressed in the HIA. Concerns around the retention of and integration of the green spaces are noted and are addressed in the heritage informants for the site. The comment also requests that an independent HIA be obtained prior to any determination. We reiterate that this HIA has been undertaken by a team of independent specialists based on the custodian's objectives and mandate.	Comment 24
10-12-25	Email - Objection	Lynne Horner	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 25
10-12-25	Email - Objection + Letter	Gerald Jacobs	Private Resident	SP resident	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Concerns re school building • Inappropriate to local character 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Infrastructure capacity is beyond the scope of the heritage process. Further detailed studies (both technical and design related) will be undertaken prior to the finalisation of development plans.	Comment 26
10-12-25	Email - Comment + Letter	Jens Horber	Civic Org/ Housing Activist	Ndifuna Ukwazi - Researcher	<ul style="list-style-type: none"> • Endorsement, particularly of the socio-historic study 	The comment from Ndifuna Ukwazi is noted. Further engagement with Province and the professional team as the process unfolds is supported.	Comment 27

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
10-12-25	Email - Objection	Deon Morris	Unidentified	I&AP + architect	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Concerns re school building • Inappropriate to local character 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site. The request for HWC intervention is noted however the submission of the HIA to HWC for a Decision is the correct route being followed. No works related to this proposal are underway therefore the request for a stop works order is not appropriate.	Comment 28
10-12-25	Email - Objection	Veronika Mullock	Private Resident	SP resident	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Concerns re school building • Inappropriate to local character 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 29
10-12-25	Email - Objection + Letter	Estelle Jacobs	Private Resident	SP resident	<ul style="list-style-type: none"> • Concerns re school building • Fragmentation of site • Building height • Inappropriate to local character 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. The request for additional feasibility studies and analyses is not part of the HIA requirements.	Comment 30
11-12-25	Email - Objection	Ronald Greek	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Building height 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. The contention that sufficient land is available for development of affordable housing on the periphery of the City is disagreed with. The provision of affordable, well-located housing is key to this project.	Comment 31

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
11-12-25	Email - Comments	Not provided		I&AP	<ul style="list-style-type: none"> • Building height 	The comment reflects generic development comments not related to the specific proposal. Issues of infrastructure capacity are not heritage issues.	Comment 32
11-12-25	Email - Comments + Letter	CCT EHRM (Interim Comment)	CCT EHRM	Organ of State - CCT Heritage Mangement	<ul style="list-style-type: none"> • Concerns re school building • Building height 	This comment is an interim comment submitted by City of Cape Town Environment and Heritage Management. The support with conditions is noted. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Issues related to fragmentation and articulation to fit into the HPOZ fabric are agreed with and must be expanded on in further design detail in future applications, in line with the Development Plan, Design Guidelines and Concept Development Report. Concern around the school building site is noted and has been responded to comprehensively in Section 3 of this supplementary report.	Comment 33
12-12-25	Email - Objection + Letter	Dr David Epstein	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 34
12-12-25	Letter	Vidette Brand	Unidentified	I&AP	<ul style="list-style-type: none"> • Incompatibility with HPOZ • Building height • Loss of green character and mature trees 	Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site.	Comment 35

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
12-12-25	Email - Objection + Letter	Martin Jacobs	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Concerns re school building • Fragmentation of site • Building height • Incompleteness of HIA • Loss of green character • Incompatibility with HPOZ • Incompatibility with local character • Wynyard Mansions demolition • Physical threats to tangible heritage 	Concern around the school building site is noted and has been responded to comprehensively in Section 3 of this supplementary report. Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. The comment notes that the HIA is fundamentally flawed and missing technical studies. The HIA is submitted to HWC to determine compliance with Section 38(3).	Comment 36
12-12-25	Email - Objection	Martie Yagam	Private Resident	SP resident	<ul style="list-style-type: none"> • Building height and bulk • Concerns re school building 	This comment refers to global practice and awareness of what is being achieved in other major cities. These comments are noted but the specifics of the South African, Cape Town and Sea Point context is noted.	Comment 37
12-12-25	Email - Submission + Letter	The Glen Boutique Hotel (Andrew Bagg & Associates obo)	Business Owner	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Incompleteness of HIA • Incompatibility with HPOZ • Incompatibility with local character 	This comment largely refers to insufficient information and detail particularly around the interfaces between boundaries, existing buildings and engagement with the topography roof lines etc which are all embedded in the area. The HIA includes a full contextual and architectural analysis which has helped inform the basic development concept. Further detailed plans and architectural designs are not part of the current process and will be subject to further review; detailed design and plans will be prepared and submitted for approvals in future processes in line with this enablement process approvals.	Comment 38

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
12-12-25	Email - Objection + Letter	Simon Davies	Unidentified	I&AP	<ul style="list-style-type: none"> • Building height and bulk • Loss of public green space and mature trees • Process and PPP • Fragmentation of site • Incompleteness of HIA • Marginalisation of intangible heritage • Wynyard Mansions demolition • Visual impacts 	<p>Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concern around the school building site fragmentation is noted and has been responded to comprehensively in Section 3 of this supplementary report. The technical data required is not part of the requirements of the HIA. The assertion that the public engagement is performative is disagreed with given the extensive, varied engagement through the process. The submission of the alternate lowered height proposal is a direct response to negative comments even though this impacts financial feasibility, cross-subsidisation and delivery of social housing. The demolition of Wynyard Mansions was very carefully considered and indeed adaptive reuse was a possibility. For reasons of a cohesive and more responsive contextual design the demolition was however supported by the Heritage Consultant and supported by docomomo given the overall project aim. The suggestion for an architectural design competition is noted but this is not how the project is framed. However, the actual design and implementation of the building development remains a separate and more detailed process to follow where further design development and detailing and integration into the context will take place in response to the guidelines and indicators set out within this enablement process.</p>	Comment 39

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
13-12-25	Email - Objection/ Comment	Edna Hime	Private Resident	Immediate neighbour/ affected party	<ul style="list-style-type: none"> • Building height and bulk • Fragmentation of site • Wynyard Mansions demolition • Loss of public green space and mature trees 	<p>Comments regarding the high rise building on Main Rd have been addressed in the design response, and in this supplementary comment report. See updated VIA (Square One, 2026) and Sections 10.4 and 16.5. Concerns around the retention of and integration of the green space and mature trees are noted and are addressed in the heritage informants for the site. Road capacity constraints will be dealt with by the city and is not a heritage matter. Heritage indicators related to the school forecourt area have been incorporated in this process, but detailed plans related to the remainder portion will follow a separate process. This issue is elaborated in Section 3.</p>	Comment 39
13-12-25	Email - Comment + Letter	SFB Ratepayers	Civic Org/ Ratepayers	Civic Org/ Ratepayers	<ul style="list-style-type: none"> • Fragmentation of site • Incompleteness of HIA • Process and PPP • Renaming of site 	<p>The comprehensive comment received from SFB ratepayers and Residents Association is acknowledged. The issue regarding the exclusion of the school building area forms a core part of this response. This concern is understood and unpacked more fully in discussion around this item in Section 3 of this supplementary report. The retention of the name "Tafelberg" is noted. The inclusion of this reference in the project name has been confirmed in the preliminary stakeholder engagements and included ever since. The retention and recording of the intangible heritage can be considered. The SFB vision for utilising the remainder portion as a community centre serving the needs of the local community is well noted. The process regarding the custodianship of the site by two different provincial entities is discussed in Section 3 of this supplementary report. We urge Province and the SFB to further engage on this matter to inform further detailed processes.</p>	Comment 41

Date	Submission Method	Commenter Names	Organisation / Affiliation	Interest in the Project	Description of Comment	Response by Project Team	Comment in Annexure S
13-12-25	Email - Objection	Liselle & Niel Mostert	Business Owner	I&AP	<ul style="list-style-type: none"> Reference to CCT project in Green Point (Civic Centre) - not 353onMain related 	This comment is not applicable to this application.	Comment 42
13-12-25	Email - Comment	DOCOMOMO SA (SvdMerwe obo)	Conservation Body	Conservation Body	<ul style="list-style-type: none"> Endorsement of Wynyard Mansions recommendations Request to document building prior to demolition 	Docomomo South Africa's Comment is noted. Docomomo should be granted access to photograph and document the building for their records. Their support for retaining part of the physical fabric, if feasible, is noted and subject to further detailed process in due course.	Comment 43
16-01-26	Email - Comment	CCT EHRM (Final Comment)	CCT EHRM	Organ of State - CCT Heritage Mangement	<ul style="list-style-type: none"> Concerns re school building Fragmentation of site Physical threats to tangible heritage Process Loss of green character 	The City of Cape Town Environment and Heritage Management branch Submitted a further comment on 20 January 2026. This comment continues to support with conditions. The comments related to integrated heritage master planning are noted and discussed further in Section 3. The heritage indicators in the HIA speak to the relationships between the two portions of the site. The need for integrated development controls is supported and it is noted that the requirement to submit the developed proposal to HWC in due course is a recommendation. The conservation strategy for the historic school building will be undertaken via the Section 27 application for that portion of the site. With regard to the social housing integration we refer to the urban design and guideline documentation which sets out spatial relationship interfaces, public spaces and contextual responses which must inform the future developed design. Compliance with these reports and the heritage design indicators is a recommendation moving forward.	Comment 44

**SUPPLEMENTARY COMMENTS AND RESPONSES REPORT – FEBRUARY 2026
(CONSIDERED AT IACOM 11 MARCH 2026)**

The comments and responses received from Conservation Bodies and from I&AP's were extensive, and all comments received were included and responded to in the Supplementary Report (February 2026). Two main, broad-based themes were identified as arising from the commenting process. Each of these themes was deemed to reflect persistent concerns from the commenting parties.

The most significant outcome resulting from the public consultation undertaken over December 2025 was the reduction in the scheme height from 11 storeys (Option 3D) to eight storeys (Option 4).

11.2.1. Separation of the Site and Lack of Integrated Planning

The decision taken by the custodian to subdivide the site and prepare a development proposal for the identified redevelopment portions of the site, excluding the historic school building and its forecourt, has been a persistent issue through the process. This has been particularly referenced in the submissions during the draft HIA commenting process by the SFB Ratepayers and in the interim and final comments from CCT EHM. The Project Team has also responded to these issues during the preliminary stakeholder engagements in 2025.

This viewpoint is understood. Indeed, the intent of this comment, which is to ensure an integrated future detailed development plan and compatible usage of the school buildings with the redevelopment portions, is agreed with and is not contested here.

Nonetheless, there are several realities and constraints related to the framing of the proposal that must be considered. These include:

- The proposal at hand is for the subdivision of the site and the site enablement of the identified redevelopment portions of the site, excluding the school buildings (i.e. the future DSD portion).
- The conservation and adaptive reuse of the Tafelberg/ Ellerslie School building itself will fall to another Provincial entity, separately and further along in the process as has been announced by the custodian and clarified during the preliminary stakeholder engagements in 2025

These constraints cannot be willed away or ignored and are fundamental to the committed socio-economic mandate of the Western Cape Government to provide social housing within the City of Cape Town, and more importantly on this strategic state-owned land that has been contested as a site for social housing provision for years.

Therefore, while we as the independent Heritage Practitioner understand the thinking behind these comments, we accept that we need to work within the constraints set in the framing of the development proposal. We argue therefore that the heritage and integrated urban desires that clearly come through in all the comments related to this matter can still be achieved through the process of subdivision and individual site development as outlined.

We state this for the following reasons:

- The Professional Team has acknowledged the heritage significance of the site from the start of the project, formulated constraints and informants, and identified heritage design indicators which have been used to shape and inform the development proposal. This process included design iterations to include as many of the inputs from the various public engagements, including the preliminary stakeholder engagements.
- The approach has always been integrated and holistic, even with the proposed subdivision of the site. The remainder portion (future DSD portion/ Ellerslie Building) is the main landmark feature that informed indicators in the establishment of the development proposal and design guidelines (in the Heritage Baseline Study, predating the NID) with its protection and conservation in mind.
- The site and its heritage significance have been considered holistically from the start of the project, and this is clearly embedded in the criteria and heritage indicators set out for the site as a whole.
- The current enablement process focuses on the subdivision and redevelopment portions; but has not done so in isolation of the remainder portion. The design indicators, informants, and development and design guideline responses that have been developed always included the remainder portion. These elements have been integrated with firm and clear urban design guidelines which will become part of the heritage and land use applications and approvals. The detailed development plans to follow based on the basket of rights will be better suited to deal with that level of detail. These conditions and guidelines will be applicable irrespective of the end use or user of the remainder portion (the Ellerslie Building). The mitigation measures included within this process are thorough, detailed and clear.

The recommendations in the draft and now Final HIA, and this Supplementary Comment Report stand and are recommended to HWC for consideration and approval as being compliant with Section 38(3) of the NHRA. Where necessary for reasons of clarity, the Conclusion and Recommendations are updated in this Supplementary Comment Report, and where pertinent, comments from I&APs are included as Recommendations as well.

11.2.2. Height of Building along Main Road and HPOZ

The height of the tallest section of the building responds to the developing Sea Point Main Rd context. Issues related to affordability and marketability of any development are always determinants, however in this case there are further constraining issues related to the provision of affordable social housing.

Notwithstanding this the team has understood the concerns around height and has submitted a revised design concept allowing for a maximum of eight stories on Main Rd. This revision has been tested in the revised VIA included in this supplementary report. (Option 4)

We believe that this reduction is a positive move and is in line with the developing context. The highest portion of the building on the site is set away from historic school buildings, although views will be obscured at certain points.

The updated Development Concept Report (Revision 4) notes:

- As per Concept Design 3D, the entire building on parcel 1, is Open Market Residential with retail on ground floor, at a total height of 8 storeys.
- As per Option 3D, the remainder of the development, parcels 2 and 3, are proposed for 4 storey walk-up social housing arranged around multifunctional courtyards. It is envisioned that these blocks have positive street interfaces, but that pedestrian access is from the courtyards.
- Parking is only provided in the basement levels, without any at-grade parking due to the limited development space, the need for social space and the aim of maximizing available development area.
- The courtyards are envisioned as dedicated multifunctional social spaces for the tenants of the housing developments, but emergency and service vehicle access is provided.
- As per Concept Design 3D, Affordable Housing has been omitted from this option.
- The pedestrian link through the site is maintained and this serves to integrate the portions of the site and create a positive, urban link and interface. The

system of courtyards, green areas and landscaped public realms remain as previously.

12.0. IACOM MEETING 11 MARCH 2026

12.1. Outcome of IACom Meeting

The Revised Development Proposal included in the Supplementary Comments and Responses Report, presenting the eight storey scheme, Option 4, was reviewed at the Heritage Western Cape Impact and Assessment Committee meeting of 11 March 2026.

As noted in the Further Requirements issued on 18 March (Annexure H) the report was deemed to not satisfy the requirements of S.38(3) of the NHRA, particularly sub sections (d) and (e), due to the lack of detailed spatial informants and recommendations for the future development of Tafelberg School Complex and the green space between the School and the Main Road.

An integrated spatial development plan for the entire Provincial Heritage Site was required, irrespective of the separate user/ client base within the property ownership. The school complex cannot be treated in isolation.

The Committee resolved to request the following further requirements:

1. A spatial framework addressing the development parameters for the entirety of the site inclusive of the DSD Portion (Tafelberg School and its forecourt setting) to ensure the compatibility and sensitivity of future development including the heritage assessment thereof.
2. Should the school itself not be proposed for any immediate development within this HIA process, a heritage agreement must be entered into to ensure the continued maintenance and safeguarding of the heritage resources as required in terms of S.27 read with S.9(3)(a) of the NHRA.
3. The above-mentioned spatial framework is to be submitted to HWC in an updated HIA, subject to a further 30-day consultation period.

12.2. Ndifuna Ukwazi Letter 24 March 2026

Subsequent to the IACom meeting, DOI received a letter from Ndifuna Ukwazi (Annexure I) outlining their dissatisfaction with the revision of the scheme that was undertaken in response to comment received. The substance of the complaint was twofold:

1. The height reduction from 11 floors to 8, materially impacted the number of

Social Housing units that could be accommodated on the site, and 2. This change had been included in a supplementary report, not a revision to the HIA. As a result, NU had not realised the changes, and had not attended the meeting, believing the scheme under discussion to be that they had seen during PPP.

The revised, lowered height presented in Option 4 was derived in response to comments received during the Public Participation Process. These comments came from diverse sources including local property and business owners as well as the City of Cape Town Environment and Heritage Management Branch. Due to the fact that the site is a Provincial Heritage Site and located within a Heritage Protection Overlay Zone, these objections carried significant weight that could result in the proposal being refused at HWC or City levels, or being subject to lengthy appeal processes. As a result, the applicant and professional team considered an alternative development concept that responded to this element and determined that it would still realise a positive outcome in terms of development commitments and overall positive feasibility.

The originally proposed 11 storey Option 3D would have realised a total of ±481 residential units, with **229 units devoted to Open Market** residences (49.1% of the GLA), and **252 units to Social Housing** (50.9% of the GLA).

The revised 8 storey Option 4 realises a total of ±440 residential units within the residential land use yield basket modelled. It is proposed that the social housing units be maximised in future detailed development proposals, with a **minimum of 200 units be allocated over towards the Social Housing developments**. The unit split is subject to grant availability and market conditions at implementation. A 50% split between open market units and social housing units is recommended and has proven feasible to cross-subsidise and materialize social housing provision within the proposed development.

13.0. RESPONSE TO HWC FURTHER REQUIREMENTS

In response to the HWC Further Requirements, a detailed assessment of the Ellerslie School building was undertaken. In addition, the Concept Development (Zutari, 2026/02/17) and Design Guidelines (Zutari, 2026/02/25) were updated, the former with minor edits (see Annexure J). and the latter with more extensive changes (see Annexure K). The Landscape Guidelines (previously Square One, October 2025) have also been updated (see Annexure G). The VIA (previously Square One, February 2026) was updated to capture

the Landscape Guidelines updates and refine proposed mitigation measures, but no changes were made to photomontages or impact assessments as no design review has occurred (Annexure P).

The AIA (RSA, 2025a), and Architectural and Context Analysis (RSA, 2025b) remain unchanged. The Social Historical Study (Roux, 2025) remains unchanged, although the author (Roux, 2026) has provided updated comment in response to issues identified during the consultation processes as part of this update.

13.1. Ellerslie School Integration

This aspect has been clarified and addressed, and is included in this report in Section 8.4.

13.2. Heritage Agreement: Outline and Process

13.2.1. Heritage Agreement Process

HWC IACom Further Requirements (Point 2) states:

Should the school itself not be proposed for any immediate development within this HIA process, a heritage agreement must be entered into to ensure the continued maintenance and safeguarding of the heritage resources as required in terms of S.27 read with S.9(3)(a) of the NHRA.

The second aspect to the Further Requirements, namely the Heritage Agreement, is a separate process between HWC and the WCG and which is to ensure the ongoing maintenance of this portion of the site, buildings and garden in the interim period. An outline of considerations is included below.

The basis of the Agreement lies in the Heritage Maintenance Plan and Landscape Maintenance Plan sections. The objective is to show that the school building complex and its site will continue to be protected and maintained in the interim, while the plans for this portion of the site are formalised.

In response to this Further Requirements, the Custodian, Department of Infrastructure (DOI) has drafted a commitment letter addressing their commitment to the safeguarding of the future DSD portion and Ellerslie/Tafelberg building (Annexure E).

13.2.2. Outline of Aspects to be considered in Heritage Agreement

The following aspects should be considered for inclusion in the agreement and maintenance plan:

- The inspection and maintenance schedule – what must happen monthly, bi-monthly, quarterly, half yearly etc.
- Yearly inspection reports to be lodged with SAHRA and HWC.
- Who undertakes the inspections – maintenance contractor, engineer, heritage architect etc as required.
- Safety on site
- Security on site
- Maintenance of site including tree pruning, weed removal, general landscape upkeep
- Tree inspections by arborist on an annual basis
- Maintenance of gutters and downpipes
- Inspections of roofs
- Monitoring of any leaks
- Undertaking any required repair (such as plaster spalling, painting, windows repair) with the required S27 Minor Works Permit, as required.
- Inspections of window glazing and undertaking required repair
- Inventorisation of materials and goods stored on site, and storage or disposal of items not required to prevent the building becoming used for long term storage.
- Fire protection system details and protocol.
- Redecoration schedule should the building still be vacant in say 4 years.

13.2.3. Fabric Assessment Review: April 2026

The following images highlight key aspects related to dilapidation and required maintenance on the school property and which are to be included in the forthcoming heritage agreement to be drawn up and signed by HWC and the WCG via its Department of Infrastructure (custodian) as committed in the Commitment Letter (Annexure E). These aspects are not intended to be exhaustive, merely illustrative of the extent and type of issues expected to be addressed in terms of maintenance of the historic school buildings and site until such time as buildings and site is repurposed.



Figure 173. Where windows are shuttered, ensure that this remains in place and that the window frames do not degrade (RSA, April 2026)



Figure 174. Invasive plant material to be removed (RSA, April 2026)



Figure 175. Careful conservation work using appropriate lime mortars and renders to historic boundary walls to be undertaken. Areas of hard cement, plaster and inappropriate coatings to be removed (RSA, April 2026)



Figure 177. As Figure 175. The site should not be used as a dumping ground for debris which should be kept clean and orderly (RSA, April 2026)



Figure 176. As Figure 175 (RSA, April 2026)



Figure 178. A tree maintenance plan and garden maintenance plan should be incorporated in the heritage agreement (RSA, April 2026)



Figure 179. Fire protection and detection systems should be in place and operational (RSA, April 2026)



Figure 181. Historic materials and layers should not be disturbed in any maintenance work (RSA, April 2026)



Figure 180. Areas of severe decay beyond what is repairable should be recorded and regularly monitored to ensure that rot and damp do not spread (RSA, April 2026)



Figure 182. Ensuring that the building remains watertight is an essential component of any maintenance plan (RSA, April 2026)



Figure 183. Areas already previously repaired and re-roofed should be recorded and monitored (RSA, April 2026)



Figure 185. Birds and other wildlife should be kept out of the building (RSA, April 2026)



Figure 184. Plant and root ingrowth should be neutralised and removed to prevent further damage (RSA, April 2026)



Figure 186. Historic joinery should be repaired and decorated and not left to further degrade (RSA, April 2026)



Figure 187. The building should not be used as a storage depot with potential overloading of suspended floors (RSA, April 2026)



Figure 189. As Figure 188 (RSA, April 2026)

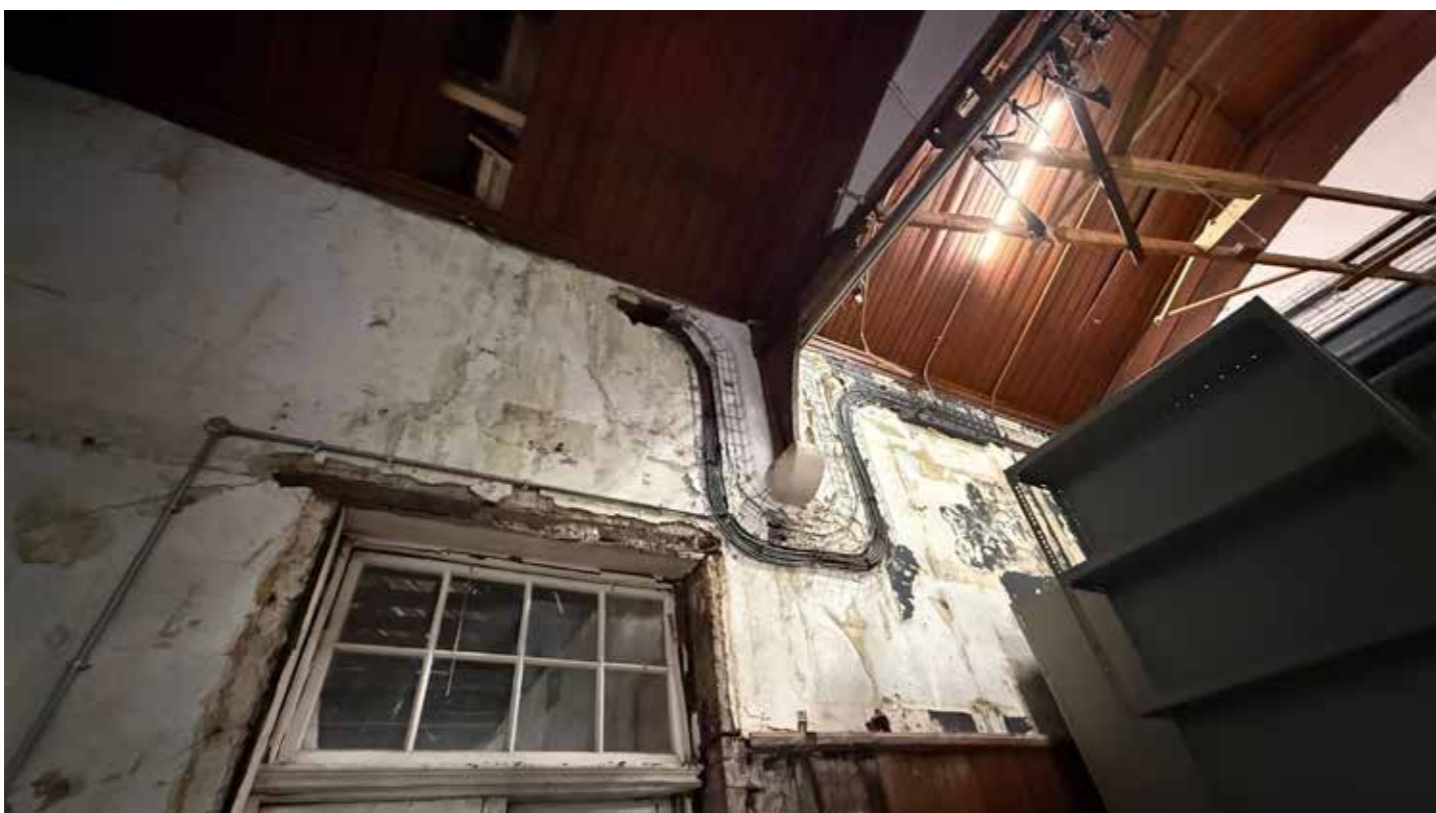


Figure 188. Areas of severe damage should be addressed and agreement as to whether these are left for future repair or whether an interim measure is necessary (RSA, April 2026)



Figure 190. Historic and rare whiteboard wall panelling in the main hall is showing signs of damage due to water ingress and should be attended to (RSA, April 2026)



Figure 191. Damage and debris in classrooms to be cleaned up and the area safeguarded (RSA, April 2026)



Figure 193. Building surrounds should be kept free of plants and weeds. Rainwater disposal goods and run off channels should be operational to prevent damp ingress. Air bricks should remain operational to ventilate the building. Stonework should be inspected to ensure that the lime mortar pointing remains in place and does not let moisture into the historic walls. The weathered window protection panels will require interim inspection and monitoring (RSA, April 2026)



Figure 192. Interim repair should not be done simply to make the spaces appear in order as this may cover up underlying fabric layers or issues that need to be addressed as part of an integrated approach; rather concentrate on preventing further degradation (RSA, April 2026)



Figure 194. The DSD site should be kept weed free and tidy and a tree and landscaping maintenance plan put in place (RSA, April 2026)



Figure 195. The site should be kept free of weeds and plant growth which would cause damage if left unchecked. Areas where windows are shuttered and boarded up need to be inspected to ensure that the rooms are ventilated and not musty due to lack of ventilation (RSA, April 2026)



Figure 196. A general site review of low walls, terracing, fencing etc is required to ensure that the property does not degrade (RSA, April 2026)

14.0. COMMENTING PROCESS, UPDATED HIA, 2026

The Updated Heritage Impact Assessment (2026), integrating the supplementary report submitted to HWC for review at the 11 March HWC IACom meeting, and responding to the further requirements arising from that meeting, was circulated for 30 days' Public Participation to the following Conservation Bodies and Interested and Affected Parties:

- Sea Point, Fresnaye & Bantry Bay Ratepayers & Residents Association
- YIMBY Seaboard (formerly Sea Point for All)
- Ndifuna Ukwazi
- Reclaim the City
- Docomomo SA

Further to that, copies of the report were made available to all I&APs who registered through the various open meetings held as part of the process, as well as to stakeholders on the project database/communication list. Site notices bearing the same information were erected around the proposed development site on 5 May.

All comments received have been captured and are addressed below, and are included, in full, in the Annexure Q. Only 15 comments (including the NU comment from April; see Annexure I) were received in this round of PPP, allowing for comprehensive responses to be compiled prior to submission to HWC. Comments received are tabulated below, and some have been summarised/condensed for brevity and/or clarity; consult Annexure Q for the original submissions.



Figure 197. Site notices on site and around Sea Point, May 2026 (RSA, 2026)

Table 8. Comments and Response Table, 2026 Updated HIA

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
02-04-26	Yes Endorsement of proposal	Email - objection	Jens Horber, Buhle Booi, Inga Dyantyi	Ndifuna Ukwazi	<ul style="list-style-type: none"> Concerns with the process by which the scheme was revised down from 11 to 8 storeys - that this was not made sufficiently clear when the Supplementary Report was circulated, thereby depriving NU of an opportunity to engage on the height revision; Whether the reduction in height was warranted; What impacts the reduction in height and concomitant reduction in number of market related units would have on the number of affordable housing units. 	<p>This letter (02/04/2026) was received after the IACom meeting (11/03/2026) and prior to the 2nd PPP period. The letter and response was included in the Revised Draft and included here in comments as well. See Section 12.2</p> <p>The request for the client to meet directly with NU during the process was declined in order to ensure a fair and transparent process.</p> <p>The revised, lowered height presented in Option 4 was derived in response to comments received during the first Public Participation Process. These comments came from diverse sources including local property and business owners as well as the CoCT EHM Branch.</p> <p>Due to the fact that the site is a Provincial Heritage Site and located within a Heritage Protection Overlay Zone, these objections carried significant weight that could result in the proposal being refused at HWC or City levels, or being subject to lengthy appeal processes.</p> <p>As a result, the applicant and professional team considered an alternative development concept that responded to this element and determined that it would still realise a positive outcome in terms of development commitments and overall positive feasibility. The originally proposed 11 storey Option 3D would have realised a total of ±481 residential units, with 229 units devoted to Open Market residences (49.1% of the GLA), and 252 units to Social Housing (50.9% of the GLA).</p>	Annexure I

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
						The revised 8 storey Option 4 could realise a total of ±440 residential units within the residential land use yield basket modelled. It is proposed that the social housing units be maximised in future detailed development proposals, with a minimum of 200 units to be allocated over towards the Social Housing developments. The unit split is subject to grant availability and market conditions at implementation. A 50% split between open market units and social housing units is recommended and has proven feasible to cross-subsidise and materialize the commitment to providing social housing provision within the proposed development.	
08-5-26	No	Email - comment	Deon Mark Adonis	Private Resident	<ul style="list-style-type: none"> Support for maximising provision of social housing 	The comment is noted as is the support for maximising the affordable and social housing opportunities.	Annexure Q Comment 1
21-05-26	Yes: Building height Loss of green character and mature trees Incompatibility with HPOZ Process and PPP	Email - queries	Susan Hoffmann	Private Resident	<ul style="list-style-type: none"> If the erf is subdivided again into the original four erven, will only the erf containing the current heritage building and protected trees remain classified as a heritage site? If the remaining three erven are rezoned, why can the zoning not require the developer to provide adequate parking for approximately 440 residential units? How will this proposed development improve the current situation [homelessness] and address these existing social and sanitation concerns? 	The PHS grading pertains to the overall site and the sub-division will not change this. Parking is accommodated in the development, The development will assist in improving the conditions in the area by developing a vacant and derelict site.	Annexure Q Comment 2
22-05-26	No	Email - comment	Phakiso Mokoena	RTC and the resident of AKH	<ul style="list-style-type: none"> Objection to perceived delays 	Concerns over delays and processes are noted. This HIA supports the proposed development.	Annexure Q Comment 3



Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
25-05-26	Yes <ul style="list-style-type: none"> • Incompatibility with HPOZ • Concerns re school building • Inappropriate to local character 	Email - objection	Veronika Kerteszova	Private Resident	<ul style="list-style-type: none"> • The scale of the development is out of character with the area of Sea Point and its heritage • significance. • The project will negatively affect the historical and cultural character of the area Sea Point. • Increased traffic, parking pressure, and strain on infrastructure are concerns which • has already changed so much in the last 5years and this will negatively impact the area even • more. • The redevelopment would impact public views and the streetscape. • The heritage value of the site may be compromised by overdevelopment. Sea Point will not be Sea Point if another huge building will be allowed and concerns me as a resident what this area will become if it's allowed! 	These comments are noted and addressed in the earlier response.	Annexure Q Comment 4

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
28-05-26	No	Email - objection	Damon Christoforos	Private Resident	<p>Concern regarding</p> <ul style="list-style-type: none"> • excessive height and bulk • impact on the Sea Point heritage streetscape • traffic and parking pressure on Main Road, The Glen, Milner Road and nearby streets • loss of mature trees and green space • overshadowing and loss of privacy for neighbouring properties • construction disruption to residents, hotels and businesses • possible wind and microclimate impacts from tall buildings • unclear long-term affordability and public benefit commitments • the risk of setting a dangerous precedent for future overdevelopment in Sea Point <p>Request for</p> <ul style="list-style-type: none"> a full traffic and parking impact assessment a detailed shadow and sunlight study a heritage streetscape and visual impact assessment a tree and green-space retention plan a construction management plan a clear explanation of the financial model and public benefit a lower-rise, more contextual alternative design. 	These comments are noted and addressed in the earlier response.	Annexure Q Comment 5

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
03-06-26	Yes <ul style="list-style-type: none"> • Concerns re school building • Fragmentation of site • Building height • Incompleteness of HIA • Loss of green character • Incompatibility with HPOZ • Incompatibility with local character • Wynyard Mansions demolition • Physical threats to tangible heritage 	Email - objection	Martin Jacobs	Private Resident	Endorses the reduced height, but remains concerned about: <ul style="list-style-type: none"> • future use and management of the historic school buildings • establishment of precedent for the treatment of other publicly owned heritage sites facing redevelopment pressures. • Proposed pedestrian connection reinforcing separation between school and remainder of development. • the proposed setbacks along Milner Road, Herbert Road, Heathfield Road, and The Glen remain problematic, particularly the proposed 1.5-metre setbacks associated with the social housing buildings. • Consideration should therefore be given to revising the internal layout of Development Parcels 2 and 3 in a manner that allows for more generous street-facing setbacks. • Heritage Western Cape should not approve the revised HIA in its current form 	The actual use and development of the school building itself will be subject to a separate and public process. The controls included here will be binding on that process. The street alignments and setbacks and creation of the internal courtyards respond to the existing context and to the creation of public, semi-public and private realms.	Annexure Q Comment 6
04-06-26	No	Email - objection	Paul Fouche	Business Owner	Comments pertain to CoCT land release programme underway for development of affordable housing elsewhere (D6 Fruit and Veg Site).	N/A	Annexure Q Comment 7
04-06-26	Yes <ul style="list-style-type: none"> • Concerns re school building • Fragmentation of site • Building height • Inappropriate to local character 	Email - objection	Estelle Jacobs	Private Resident	Concern about: <ul style="list-style-type: none"> • The future of the historic school buildings: there is still no clear indication of how they will be used in the long term. • Concerns re precedent for PHSEs and similar sites 	The actual use and development of the school building itself will be subject to a separate and public process. The controls included here will be binding on that process	Annexure Q Comment 8

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
05-06-26	Yes <ul style="list-style-type: none"> • Concerns re school building • Building height 	Email - comment	CCT Heritage Branch	CCT EHM	<ul style="list-style-type: none"> • Before any subdivision or parcel sale proceeds, a comprehensive heritage masterplan should be prepared that: <ul style="list-style-type: none"> - Establishes the conservation strategy for the Ellerslie High School building; - Defines the spatial, visual, and functional relationships between the PHS and all other development components; and - Specifies development controls (height, scale, setbacks, materials, landscape treatment) for all parcels based on the PHS conservation requirements. • The adaptive reuse and conservation strategy for the school building should be resolved to a level of detail sufficient to establish binding parameters for surrounding development before any enablement approvals are granted. • Heritage-informed development controls must be codified and made binding on future developers of subdivided parcels. These should not be left to future discretion but should be established now as non-negotiable parameters. d) Social Housing Integration: The social housing component must be planned in direct relationship to the PHS adaptive reuse strategy, with clear functional, spatial, and design integration. This relationship should be specified before subdivision occurs. 	<p>The City's Support with Conditions is noted. The Supplementary Comments a) -d) provide a useful strategy for developing the concept proposal and "codifying" the heritage controls. These 4 aspects are supported and should be addressed in the further approval stages.</p> <p>It is recommended that HWC should integrate these comments into the ROD regarding further processes which will become part of the development conditions to be addressed during detailed design stages for submission to the relevant authorities for support to ensure that detailed plans are in substantial accordance with the RoD.</p>	Annexure Q Comment 9



Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
					<p>Option 4 Preferred, in recognition of the following considerations:</p> <ul style="list-style-type: none">• A careful balance must be struck between the imperative to provide social housing in well-located areas such as Sea Point. This within a City experiencing a housing crisis is a significant consideration for a government entity and the release of the land after an embattled history on this site, is needed. This must be held in tension with the very high heritage significance of the site, and integrate changing values and significances associated with it.• The social value of the site is central to its heritage significance. This encompasses the intersection of tangible heritage resources with the site's evolving social importance, its role as a catalyst for housing activism, and its contribution to broader advocacy movements for equitable housing provision. These dimensions have materially shaped and continue to inform the significance of the site.		

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
					<ul style="list-style-type: none"> • Social housing constitutes a heritage concern, insofar as it creates conditions for all residents to experience and access the City equitably and a concern that is particularly acute in an area such as Sea Point. The HIA therefore in its requirements to address socio-economic conditions as part of its impact analysis, has done so effectively. • The Main Road façade of Portion 1 will be retained at 8 storeys, as indicated in Preferred Option 4; • The interface with the finer-scaled residential precincts is appropriately stepped down and modulated as best as it can in order to provide the critical mass of market related units, versus social housing and responding to design constraints; • Further design articulation will be embedded as a principle and condition of approval; • A landscape framework will be required to manage the existing treed landscape and to secure measurable improvements to the overall landscape quality of the site. This must be conditioned appropriately and will carry through into the Land use approval; • The forecourt of the Ellerslie building has been adequately identified as a space of catalytic social function, and its significance appropriately carried through the design; 		

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
					<ul style="list-style-type: none"> • The analysis of the Ellerslie building and principal recommendations for adaptive re-use to be embedded into future planning for the site is supported as a start, recognising the constraints faced by the applicant; • The socio-historical recommendations sufficiently address the multi-faceted social significance of the site and, within current constraints, make adequate provision for it. The Branch acknowledges that monitoring these outcomes will present ongoing challenges; in this respect, the recommended Heritage Agreement presents a suitable vehicle for addressing the more intangible aspects of the site's heritage future; • The City retains sufficient opportunity to provide further input into design articulation at the stage of the Land Use Application, in terms of the Municipal Planning By-law, and that the outcomes of the Heritage Impact Assessment will not conflict with the City's future requirements — notwithstanding any additional requirements from other City departments. <p>EHM accordingly supports the recommendations and design guidelines set out in the revised HIA, and is satisfied that previous concerns have been sufficiently addressed at this level of design.</p>		

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
07-06-26	<p>Yes</p> <ul style="list-style-type: none"> • Building height and bulk • Loss of public green space and mature trees • Process and PPP • Fragmentation of site • Incompleteness of HIA • Marginalisation of intangible heritage • Wynyard Mansions demolition • Visual impacts 	Email - objection	Simon Davies	Not specified	<ul style="list-style-type: none"> • The future use of the historic school building remains undefined, thus, the HIA cannot satisfy Section 38(3). • By leaving the future use of the DSD portion undefined, the HIA leaves the site vulnerable to profit-driven motives. • Leaving the school's function "unknown" allows a developer to extract financial yield from the surrounding high-density blocks while ignoring the historic school's non-profit social rehabilitation. • DSD must be actively pressured to make a firm public decision on its function. • A core rule of the HPOZ is that new structures must remain subservient to the protected resource. The development will heavily dwarf the 2-story Grade II school buildings. • The housing blocks still fail to respect HPOZ boundary setbacks along Milner, Herbert, and Glen Roads, creating an aggressively harsh street interface that risks privacy and security concerns for both new and existing residents. • The proposed basements, dense architectural layout and extensive underground excavations pose an irreversible threat to the protected mature trees on site. • 8 storey scheme is an improvement, but the HIA fails to provide sufficient safeguarding against inappropriate redevelopment of the school site. 	These comments are noted and addressed in the earlier response. The actual use and development of the school building itself will be subject to a separate and public process. The controls included here will be binding on that process.	Annexure Q Comment 10

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
07-06-26	<p>Yes</p> <ul style="list-style-type: none"> Fragmentation of site Incompleteness of HIA Process and PPP Renaming of site 	Email - objection	Gordon Mentz	SBF Ratepayers Association	<ul style="list-style-type: none"> The submission does not satisfy the requirements of section 38(3) of the NHRA, particularly sections 38(3)(d) and 38(3)(e), nor does it adequately comply with the directives issued by HWC on 18/3/26. No Integrated Spatial Development Plan provided for the Entire Provincial Heritage Site. Inadequate Public Participation and Failure to Comply with Section 38(3) of the NHRA <ul style="list-style-type: none"> Absence of meaningful public notification; Consultation occurred only after the updated hia had already been prepared; Failure to solicit community recommendations for future development; Failure to address public concerns regarding accessibility; Failure to meet the requirements of Section 38(3)(d) Proposed Heritage Agreement is too narrow and does not advance the public benefit objectives of the NHRA; <ul style="list-style-type: none"> The Preamble and Principles of the NHRA; Community participation rights; Heritage Agreements must advance public benefit; Addressing historical patterns of exclusion; Public investment should deliver public benefit 	<p>The considered comments and engagement is acknowledged as an important part of the process, however we respectfully disagree on several key points.</p> <ul style="list-style-type: none"> The integrated plan and guidelines presented in the HIA sets in place key and over-arching heritage related guidelines that MUST be enforced in the overall future developments. This includes the maintenance of the open space, the pedestrian link through the site, tree protection, the school building itself and boundary conditions. Future and more detailed processes, as outlined by the City, will further develop this based on the core principles this HIA seeks to get approved as part of the S38 process. We disagree that there has been inadequate public participation. The series of engagement sessions, open houses, public advertising and two rounds of public comments attest to this. With regard to accessibility, the proposal embeds a public walkway through the site. This one element alone affords the site more permeability and active interfaces than have existed to date. Interface with the DSD portion must naturally be informed by the use of that portion of the site in due course and will be subject to separate and further public processes. Alternatives and mitigation measures have been provided in the sequence of HIA's. 	Annexure Q Comment 11

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
					<ul style="list-style-type: none"> Updated HIA continues to defer critical heritage planning decisions to future processes, future approvals and future agreements. <p>REQUESTED REMEDY</p> <ol style="list-style-type: none"> 1. Prepare a genuine Integrated Spatial Development Plan; 2. Undertake a comprehensive and meaningful Public Participation Process; 3. Reformulate the Heritage Agreement 	<ul style="list-style-type: none"> The scope of the Heritage Agreement was defined by HWC and is intended for a very specific purpose and not the more broadly defined scope noted by SFB. <p>The remedies suggested (1-3) are not considered appropriate given the development proposal on the table. We fully maintain that the controls and guidelines, if agreed to and implemented, will produce the desired integrated site development and at the same time provide social housing on this site.</p>	
07-06-26	<p>Yes</p> <ul style="list-style-type: none"> Building height and bulk Fragmentation of site Wynyard Mansions demolition Loss of public green space and mature trees 	Email - objection	Edne Hime	Private Resident	<ul style="list-style-type: none"> Objection to demolition of Wynyard Mansions; School building must be maintained, and not redeveloped into something or allowed to deteriorate to the detriment of its heritage status; Visual impact of historic building to be retained. 	<p>The comment re Wynyard Mansions is noted. The HIA has argued that although it has some architectural merit, this is outweighed by broader contextual gains of an integrated development.</p> <p>The comments re the DSD portion are answered and addressed in the proposal and guidelines.</p>	Annexure Q Comment 12
07-06-26	<p>No</p>	Email - objection	T.E. van der Meulen	Private Resident	<ul style="list-style-type: none"> Objection to demolition of Wynyard Mansions; New buildings should comply with the heritage guidelines reflecting the heritage status of the site; The school building must be maintained and could possibly be used for adult education in line with its original zoning 	<p>The comment re Wynyard Mansions is noted. The HIA has argued that although it has some architectural merit, this are outweighed by broader contextual gains of an integrated development.</p> <p>The comments re the DSD portion are answered and addressed in the proposal and guidelines.</p>	Annexure Q Comment 13

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
7-06-26	Yes <ul style="list-style-type: none"> Building height 	Email - objection	Byron Miller	Private Resident	<ul style="list-style-type: none"> The proposal contradicts its own stated heritage objectives The proposed floor area ratio exceeds what the zoning permits. The street setback is cut to one-third of the permitted distance. The new buildings are not subordinate to the Provincial Heritage Site The interface with The Glen has not been properly assessed or designed The Glen frontage has not been visually assessed The stepping-down to The Glen is only an aspiration. Overshadowing has not been studied. Objection to demolitions within the Provincial Heritage Site: Wynyard Mansions and Music Rooms Precedent and consistency of decision-making Relief sought Do not endorse the Updated HIA as compliant with Section 38(3) of the NHRA in its current form, and that, if the application proceeds, the following be imposed as binding conditions rather than left to detailed design: <ul style="list-style-type: none"> 1. Cap the floor area ratio on Development Parcels 2 and 3 at the permitted level of 1.5. 2. Reinstate the 4.5 m street building line on The Glen, Heathfield, Herbert and Milner Roads, or require any departure to be separately and explicitly justified on heritage grounds. 	<p>The comments regarding zoning and setbacks will be dealt with by the relevant City LUMS processes. In terms of heritage and “the new buildings not being subordinate to the PHS” we argue that this is considered in totality across the site. Subordinate in this developing context cannot simply mean lower. The placing of buildings and the creation of public street interfaces, pedestrian walkways, courtyards, open green spaces, parking entries etc have all been carefully considered and assessed from a heritage and urban perspective to be responsive to and respectful of the core buildings on the site. The scale of the development overall is finely balanced to achieve both a contextual fit and provide sufficient social housing and is subject to push and pull factors for both greater and lesser density. With regard to the demolitions on site, the buildings to be demolished are identified and assessed, and HWC generally issue both a ROD in terms of S38 and a Permit in terms of Section 27 to address this. Point number 6 re the framework ties in with the City’s comment regarding development controls in further processes.</p>	Comment 14

Date	Prior Comment	Submission Method	Commenter Names	Organisation /Affiliation	Description of Comment	Response by Project Team	Annexure
					<ul style="list-style-type: none"> • 3. Make the following binding conditions of approval (not detailed-design aspirations): stepping down the built form down to a two-to-three-storey street wall on The Glen; upper-level setbacks; façade modulation to achieve a genuinely fine-grained texture; and a continuous medium-to-large-calibre street-tree buffer (per guideline R1) along The Glen. • 4. Require, before any approval, a pedestrian-level Visual Impact Assessment (photomontages) of the Parcel 2/3 frontage as seen from The Glen, together with a daylight and overshadowing study for the Glen interface. • 5. Require a separate, explicitly motivated Section 27 demolition permit for any demolition within the Provincial Heritage Site, including the Music Rooms, assessed on its own merits. • 6. Make a precinct-wide heritage management and governance framework - binding on all three parcels and the school portion and registered against the relevant titles - a condition of approval, to ensure the long-term integration and protection of the Provincial Heritage Site as a whole, as required by HWC's own Further Requirements of 18 March 2026. 		

15.0. CONCLUSION

The proposed development will see the transformation of the site, with impacts to heritage resources on site, some of which are very highly graded. Balancing this is the achievement of the provision of the required social housing component on this site.

Given the absence of any significant archaeological material revealed during geo-testing, and the exclusion of the area of the homestead site from this proposal, it is concluded that archaeological impacts are not likely to arise because of this proposed development. The old Ellerslie Road alignment holds the potential to contain historic road fabric; if this surface is found to have been cobbled, the cobbles would be worth retaining and reusing.

While the proposed subdivision poses no risk of archaeological impacts, any future redevelopment of the DSD portion will need to undergo a separate process in terms of the NHRA to consider likely archaeological triggers. In terms of social history, the redevelopment of the identified development portions of the site to accommodate social housing goes a long way to ensuring that the historic and recent links to housing activism is not lost. Measures need to be incorporated into the design, however, to ensure that the social housing component does not become siloed but is rather able to integrate into the redevelopment and the Sea Point community more widely. Appropriate facilities to support families - particularly women-headed households - and ensure integration are essential in this regard.

Appropriate memorialisation of the aspects of social history identified as important - including housing activism, educational histories and gender - should also be incorporated, and this can be realised through public art, signage, displays and similar. Possible public access to the school forecourt would be a positive outcome that recognises the social significance of the green space, and would need to be carefully weighed against the requirements of the future use of the site.

The concept design has been revisited to provide a lower, 8-storey block on Main Road. While an even lower building on Main Road (as in Concept 1 and Concept 2) would have less visual impact in the context, this 8-storey height is appropriate to the emerging context and in line with City policy. Most importantly however, the implementation of the social housing programme requires the larger market-related component to render the project feasible, and given that this is an imperative to achieve, this height is acceptable.

The overall finding of the VIA is that the proposed development's scale and massing, particularly with the reduction in height on Parcel 1, are largely consistent with the established character of the Sea Point urban fabric when assessed at a broader townscape level.

Analysis confirms that the 8 storey height on Parcel 1 is an appropriate response to the dense, "urban wall" typology of Main Road and remains subordinate to the taller high-rise buildings along the beachfront. Unlike the previous Concept 3(D) iteration, the revised proposal matches or sits comfortably below the visual datum of the surrounding mid-rise buildings and remains subservient to several of the taller high-rise buildings found within the area.

The stepping down of the scale to four storeys on Parcels 2 and 3 is a critical and appropriate design decision, responding to the finer-grain, lower-rise residential context towards Signal Hill.

When viewed from a distance, such as the Sea Point Promenade (Viewpoint 6) and Ocean View Drive (Viewpoint 5), the proposal is largely screened by existing urban fabric and vegetation, resulting in Negligible to Low visibility. It integrates seamlessly into the existing urban skyline without impacting primary sea views or the horizon line, aligning strongly with the principles set out within the CoCT's Tall Building Policy and the Table Bay DSDF. While the proposed development remains partially visible in Viewpoint 5, the overall visibility is substantially reduced ensuring that the proposed development does not fundamentally conflict with the overall character of the area.

Despite this acceptable townscape fit, high-impact visual intrusions remain a concern and will still require appropriate mitigation. While these high impact visual intrusions were previously a concern at the local, street-level scale, the revised Concept 4 proposal has taken steps to reduce impacts and mitigates these issues to varying degrees from certain vantage points.

Primary examples of this can be seen in Viewpoint 1, which remains unchanged with High visual intrusion and Viewpoint 7 where despite the reduced height of the proposal, VAC remains Low and Visual Exposure remains High. This results in a marginal, yet significant decrease in visual intrusion, reduced from High to Moderate to High as the Concept 4 proposal feels less visually overpowering, representing a distinct improvement in how the built form interfaces with the public domain when compared to the original 11 storey proposal.

The Impact Assessment (Section 6.3) continues to rate the Construction Phase as having a High (negative) impact prior to mitigation. However, the Impact Assessment now rates the Operational Phase impacts as Medium (negative) prior to mitigation, improving to Low (negative) with mitigation.

Localised High operational impacts are still identified in the Visual Analysis (Refer to VIA Section 5).

The VIA notes that this assessment is being conducted on a strategic-level study of a conceptual massing envelope intended only to inform the site enablement process, the most critical recommendation is that a new, comprehensive VIA must be commissioned and submitted as part of any formal, detailed development approval process. That future assessment will need to re-evaluate the specific architectural design, including façade articulation, modulation, materiality, lighting and landscaping to ensure the above mitigation measures proposed in this conceptual phase are successfully translated into a final built form that is sensitive to this significant heritage and visual context.

Option 4 remains the preferred concept design option.

The reduction in height does lead to a lower number of residential units being realised - both open market and social housing units.

The draft HIA (Option 3D) proposal including the 11-storey component realised 481 units comprising:

- 229 open market units
- 252 social housing units.

The proposed development floor areas and unit yields for the revised Option 4 (ie the 8 storey, revised proposal) realises a total of ±440 residential units within the residential land use yield basket modelled. It is proposed that the social housing units be maximised in future detailed development proposals, with a minimum of 200 units. The unit split is subject to grant availability and market conditions at implementation. A 50% split between open market units and social housing units is aimed for.

The reduced height / Option 4 remains the supported option due to the lesser heritage and visual impacts on the site and surrounds.

16.0. RECOMMENDATIONS

16.1. General Recommendations

This HIA recommends that Heritage Western Cape:

- Endorse this report as meeting the requirements of S.38(3) of the NHRA
- Approve the subdivision in terms of S.27
- Approve the demolition of Wynyard Mansions as per the Site Development Plan (Zutari, 2026c)
- Approve massing, height and layout as per the Updated Concept Report (Zutari, 2026c)
- Endorse the Design Guidelines (Zutari, 2026d)
- Require the DSD portion/ school to adhere to overall guidelines and indicators and programme the building accordingly and submit a separate S.27 application.
- Furthermore, it is recommended that the DSD seek to programme that part of the site to be a positive and integrated component of the whole and, importantly, to engage proactively with Conservation Bodies and I&APs around this matter.
- Conditions of approval – the ROD is to include that further developed drawings are to be submitted to HWC as a Condition of the approval to confirm adherence to the social housing programme and general design indicators and guidelines.
- Require detail design development in accordance with the architectural, heritage and urban design recommendations accompanied by an overall visual impact assessment of the developed design.
- A Heritage Agreement is to be entered into between HWC and WCG in order to ensure the ongoing maintenance of the school building and property until the development of that portion of site is effected.
- The heritage criteria, guidelines and development controls pertaining to the site layout and informants are to be adhered to in the future repurposing of the historic school building portion of the site

16.2. Archaeological Recommendations

It is recommended that:

- The AIA be endorsed;
- Initial inspection of foundation trenches be undertaken when these are opened during construction phase.
- Initial monitoring of works in the area of the old Ellerslie Road alignment should be conducted, and if cobbles are located there, these should be retained and reused elsewhere on site.

- Any future redevelopment of the DSD portion will need to follow relevant archaeological processes.
- If any human remains or significant archaeological materials are encountered during construction work all work in that area should be halted, and the area cordoned off until HWC has been notified, and an appropriate course of action can be determined. This may include mitigation through excavation.

No PIA is recommended, but a fossil finds protocol should be provided.

16.3. Socio-Historical Recommendations

The following considerations are recommended in terms of recognizing, building on and preserving the intangible and associational heritage of 353 Main Road:

1. Presently, the plan under consideration is for mixed-use development on the eastern portion of the site, incorporating social housing and market-related housing, as well as retail. This plan is still under development and current HIA processes relate only to site enablement.

While development at this scale would impact on the character of the school grounds, there is great potential for such development to support the associational, intangible heritage qualities of the site.

2. Besides the highly visible link to contemporary spatial justice struggles, there is clear precedent for affordable housing on the site. Although Wynyard Mansions is small, its story acts as a microcosm for many of the struggles still faced by working people in Sea Point. It provided a crucial foothold for vulnerable individuals and families in the city, and enabled crucial access to jobs and urban facilities. The proposal to develop affordable and social housing is strongly supported from an intangible heritage perspective in this regard. If it is feasible from a development and usage perspective to retain part of the physical fabric of Wynyard Mansions as the physical manifestation of this history, this would be appropriate and supported. Design for future development should be mindful that Wynyard Mansions holds a deep connection to housing struggles in Sea Point and its links to everyday stories of urban survival in Cape Town. However, this should not form a blockage to the realization and reflection of the site's associations with affordable housing and spatial justice. If the design and feasibility scoping processes do not support the retention of the block or parts thereof, consideration should be given to reflecting its memory through other creative means: this could include use of the footprint, design aesthetics, naming, or some form of publicly visible interpretation, exhibition or historical storytelling.

3. The sense of the property as a community anchor, supporting individuals' and families' interconnection between neighbourhood, home, and community, is one of the most central associations with the site. Any development should be oriented towards acting as an integrated and inclusive community anchor. Affordable housing is a key lever for this kind of community integration, enabling people to live where they work and where their children go to school – echoing the experiences of the Ellerslie alumnae who had the privilege of going home for a quick lunch, participating in school extra-murals, and having parental support for school activities and fundraisers. The proposal to develop social and affordable housing on the site is therefore entirely in keeping with the community-oriented social history of the site. In practice, this means development should be focused not only on housing alone but also on the creation of community facilities and points of connection, with the potential to counter some of the fragmentation experienced by residents in recent years. There are many possibilities for achieving this: for example, active and well-programmed community centres, citizens' advice bureaus, a focus on businesses in the retail portion which support day-to-day needs, safe spaces for children, and well-designed spaces for community gatherings.

4. The educational history of the site is highly significant, but this does not necessarily mean that the site requires literal reinterpretation as a school. This aspect of its heritage can be broadly interpreted to include facilities and housing design that are genuinely supportive of family life and healthy psycho-social development. This could include elements such as a creche, safe play spaces for children, and social amenities suitable for families. This is especially important in a context where most new developments do not cater for families with children. The development of affordable housing on the site also opens the possibility for children currently attending schools in Sea Point to live close to school, shifting the current dynamic where children leave home early in the morning to travel into the city on public transport. This would represent a revival to historical dynamics of interlinkage between schools and the residential community of Sea Point. While this HIA process does not include the school building itself, it is worth noting here that the older portions of the building, including the interiors, are highly significant from a socio-historical perspective. A more detailed heritage study on the school building itself will be necessary when decisions are finalized about its future use.

5. The site's multiple connections to gendered histories could also find expression in its future development. These links are visible in the site's connections to women's education, the high concentration of women who found homes at Wynyard Mansions, and the women who have led

housing struggles in Sea Point for decades. It would be appropriate to honour this history through a gender-sensitive approach to design in future development, including considerations given to public space design; safety and visibility considerations in the design of entrances and walkways; and – as noted above – design which supports safety and thriving for children and families.

6. As a rich, multilayered site that speaks to so many aspects of Sea Point's history, it would be appropriate to include an interpretive element in the site's development which tells some of these stories. Besides the historical narrative of the schools, it is also important to have a public reflection of histories which are in danger of being forgotten, including those of Rainbow Housing and of Wynyard Mansions. These stories are also intrinsically connected to contemporary housing activism in Sea Point and the impact this activism has had on Cape Town at large. Possibilities for such interpretation could include a small public exhibition, well-designed mural art, and/or naming practices for future buildings on site.

The following considerations pertain to the Ellerslie Building forecourt specifically:

- **Public Land:** The forecourt is not intended for private development or ownership, regardless of the level of public access made possible or not by DSD's future plans for the site. The retention of public ownership is in keeping with the social history findings around the site as a community resource. It would be advisable to make this provision explicit for future management planning.
- **Contingent Access:** Usage of the former school building has determined the level of public access to the garden, and it is likely that this linked determination will continue in future.
- **Heritage Values and Sense of Place:** The school forecourt acted as a social and recreational space for the school, and a green space more widely, fostering a sense of place and a green 'pause' in the urban landscape, even if only visually. The continuation of these historic meanings and values, and their extension to the surrounding community, should be supported as far as is practically possible.
- **Continuum of Possibilities:** Meaningful efforts should be made to ensure some form of public access to the garden in line with the site's historical social meanings and significance. This should comprise visual accessibility from the housing and mixed use development portion at a minimum, but could extend to managed access, in line with DSD's practical needs for the former school building.

It would be advisable for the spatial framework to propose a continuum

of possibilities for the forecourt, to account for different levels of access and permeability in line with DSD's potential uses of the school building. These would provide a guideline for establishing appropriate levels of public access once the future of the school building is clearer. The guiding principle should be to allow for as much public access as possible, within the constraints of DSD's requirements.

16.4. Architectural and Townscape Recommendations

The detailed planning and design stage must consider and implement the following:

- The historic, C19th solid stone wall and central pier and fence walling section on main Road are to be documented in detail. Design options to be explored to retain (at minimum) representative sections of each wall in an integrated and interpretive manner with the line and form of the overall wall reflected in paving lines if any sections are removed to facilitate positive street interface, so that the original fine-grained layout is remembered on site. This should be part of the street and landscaping interface condition.
- The detail, grain, materiality, punctured nature of opening and form of the buildings are modulated to respond to the varying conditions around the site. The Architecture should be fine-grained and contextually responsive and not be self-referential.
- The internal interface conditions must be detailed to respond to the school/ DSD building and green open area.
- The building design must engage positively with the adjacent school buildings and not present blank or service facades towards the historic school buildings.
- The detail design should seek to enhance visual and physical cohesiveness and connectivity with the school building.
- Internal security provisions/ fencing to be detailed in a subtle manner with the over-riding concern being to visually retain the cohesiveness and integrated nature of the PHS site.
- The future development considerations of the DSD portion of the site should recognise and incorporate the heritage design indicators and framework set out in this report.
- The Concept Design Report and Design Guidelines Report (Zutari 2026c and 2026d) must remain the design determinants for the future design development.
- DocomomoSA should be afforded the earliest opportunity to access Wynyard Mansions to record and document the building for public record.

- The detail design stage should consider whether any portion of Wynyard Mansions, for example the street bridge as entrance, could potentially be incorporated into the design. This would need to be contributory to memory and interpretation and/or place-making and not simply a gesture.

16.5. Visual Impact Recommendations

General

- **Materiality:** All external material and finish specifications, including the building façade materiality and all ground-level hard landscaping, must be of high quality and non-reflective to reduce glare and visual intrusion.
- **Landscape Architecture:** A comprehensive landscape master plan, prepared by a SACLAP registered professional, is essential and must be implemented and monitored. This plan is the primary mitigation tool and must prioritise visual screening through the planting of medium to large-calibre trees along sensitive boundaries (especially along sensitive heritage interfaces such as The Glen, Herbert Road, Heathfield Road and Milner Road).

All retaining structures must be stepped, articulated, and heavily planted to avoid monolithic 'terraforce' walls while appropriate terracing should be employed to manage considered level changes, create accessible and usable open spaces and mitigate the need for excessive retaining structures. The building should include integrated planters on balconies and setback terrace to allow for cascading vegetation on the façade. Vertical greening through the installation of stainless-steel cable or mesh trellis systems should be considered. Additionally, the implementation of green roofs on all flat roof surfaces and podiums in accordance with the site enablement urban design and landscape guidelines is recommended. Careful consideration should be given to the levels of the courtyards and green roofs to ensure sufficient planting depth is achieved. (ZUTARI; 2026d)

- **Building Articulation and Interface:** Further articulation of the building's mass through façade modulation to achieve a fine grain texture, upper-level setbacks and roofline variation are recommended during the detailed design stages to reduce the buildings' perceived scale and bulk and to avoid monolithic built form. This is particularly relevant to the Portion 2 and 3 sites where the current proposal introduces a significant contrast to the adjacent low-rise heritage dwellings and noticeably changes the character and sense of place of the street.

As such, the massing of buildings needs to consider views, sunlight, the relationship with streets and spaces, landmarking and be respectful of the contextual building grain and mass. The way the development interfaces

with the streets, public spaces and neighbouring properties, is crucial to ensure a strong contextual fit and maintaining the integrity of the area. Interface considerations should therefore conform to the site enablement Design Guidelines Report. (ZUTARI; 2026d)

- **Construction:** A pre-construction condition audit must be conducted on all adjacent heritage structures, particularly on the DSD portion of the ERF 1424 site. Standard, but rigorous, site management for dust, noise, and visual screening of site camps is mandatory. An arborist must provide an arboricultural report or method statement detailing a Tree Protection Plan (TPP) that must be adhered to during the construction phase to ensure the protected trees survival.
- **Setbacks:** Increasing of the building setback from the site boundary along sensitive residential heritage interfaces such as The Glen, Herbert Road, Heathfield Road and parts of Milner Road as identified within the Heritage Informants to allow for substantial softening and visual screening of the site edge through the planting of medium to large calibre ground level trees and landscaped areas while maintaining the pedestrian sidewalk routes.

Construction Phase

- Store and keep excavation machinery and trucks out of sight of surrounding residential areas as far as possible.
- Ensure that excavation machinery and trucks entering and leaving the site do not leave any rubble, sand, rock, branches or other unwanted material on roads linking to the site.
- Screen the site camp from view using appropriate materials that blend into the surrounding vegetation.
- Ensure that site construction hoarding is dark in colour and free of excessive branding.
- Prohibit excessive signage outside the construction camp.
- Keep site lighting to a minimum and prevent the use of flood type lighting as far as possible.
- Ensure that the site is kept neat and clean. Collect and dispose of litter appropriately to prevent any potential wind-blown litter on or off the site.
- Ensure that site clearing is delayed as long as possible prior to construction in any particular area.
- Limit site clearing to within the minimum footprint required for construction.
- Protect existing vegetation in all areas that do not fall directly into the construction footprint.
- Do not damage or destroy vegetation on adjacent properties.
- Control erosion immediately to prevent visual scarring of the landscape.
- Control dust using the appropriate dust suppression techniques.

- Rehabilitate eroded / denuded areas as soon as possible following construction in any particular area.
- Ensure that vegetation and tree planting is installed as per the landscape master plan and in terms of the landscape guidelines.
- Large retaining structures should be stepped and designed to be integrated with natural vegetation and planting.
- Building forms and volumetric/elevational components articulated to avoid a monolithic form and flat facades.
- Protect the existing trees that are not planned for removal as per the tree survey.
- During the planning phase, the proposal must pay close attention to the interface of the proposed development with Main Road and surrounding streets. This includes evaluating the building's contribution to a safe, attractive, and pedestrian-friendly environment.
- Protection and site demarcation to protect DSD portion of ERF 1424 from related demolition, excavation and construction implications.
- A pre-construction condition audit should be conducted on all structures on the DSD site prior to construction taking place on the DOI sites to ensure that structural mitigation measures can be put in place to limit unplanned negative impacts to structures of heritage significance.

Operational Phase

- Ensure that the landscape master plan prepared by the appointed SACLAP registered professional landscape architect is implemented and monitored by the appointed landscape architect during construction. The landscape master plan must include visual screening that offsets the visual impact of the built form and establishes a green network of indigenous vegetation at the site.
- Implement the landscape master plan to include visual screening elements including tree planting along the boundary edge associated with the entire development site.
- High vertical retaining walls, as well as the use of 'terraforce'/'loffelstein' embankments should be avoided. Retaining structures and external levels should be stepped and designed to be integrated with the adjacent Tafelberg School landscape, vegetation and planting
- Make use of contextually appropriate materials.
- Ensure that low level, unobtrusive and contextually appropriate signage is used.
- Keep highly reflective surfaces to a minimum or ensure that these areas are shaded by roof overhangs, where possible.
- Ensure that non-reflective, colour appropriate paving surfaces are used as

far as possible.

- Place services underground, where possible. Electrical sub-stations, etc. to be incorporated into built form/ structures.
- Night lighting should be minimized and designed appropriately along the following guidelines:
 - Use low level lighting around buildings and along paths and streets.
 - Avoid neon, spot or excessive up-lighting.
 - Screen and filter lights sources as far as possible.
 - Shield external lights on buildings to cast light only upon the area required to be illuminated.
 - Ensure that naked light sources are not visible from beyond the site.
 - Ensure that limited light is emitted into the sky.
- Lighting must be low energy and must be shielded down lighting to minimise light impacts and night and light spillage into the surrounding residential areas. Ensure that fencing is visually permeable, contextually appropriate and softened with planting to provide visual screening. Use appropriate colours such as dark grey, charcoal and black that are visually recessive.
- Prepare a landscape guideline document based on the landscape philosophy and ensure that it is implemented during the operational phase.
- A Site Development Plan must be prepared for approval by the local authority before construction activities can commence.
- Make allowance for on-going landscape maintenance to allow site vegetation to mature sufficiently to allow the environment to achieve maximum VAC.
- Areas that are infested with invasive vegetation and trees must be rehabilitated carefully to ensure that no erosion or exposed areas result from rehabilitation activities.
- Site clearing must be carefully controlled to minimize potential damage and erosion and all areas that are disturbed must be repaired and rehabilitated.
- All areas disturbed during construction activities must be rehabilitated using appropriate vegetation.
- Minimize cut and fill and where this is required, stabilization techniques must be integrated to incorporate natural materials and appropriate indigenous vegetation. Any vertical retaining structures should be staggered in height and should not exceed 1.2m.
- Ensure that stormwater from building rooftops and stormwater surface flow is harnessed and captured in swales and planting areas to encourage plant growth and rehabilitation.

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